

Review case under section 43A of the Town and Country Planning (Scotland) Act 1997 Attic conversion including the introduction of front and rear dormer, with extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF
Application No: 15/00952/FUL

Addendum to the above review as requested by review body.

STREET VIEW [EXISTING]



29 Abercorn Drive

16 Ulster Drive

14 Ulster Drive

12 Ulster Drive

GARDEN VIEW [EXISTING]



12 Ulster Drive

14 Ulster Drive

16 Ulster Drive

29 Abercorn Drive

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(Due to the steep gardens to the rear it is difficult to show the roof scape)
STREET EXISTING VIEW



7 Ulster Drive

9 Ulster Drive

11 Ulster Drive

DWELLINGS DIRECTLY OPPOSITE PROPERTY SEEKING APPROVAL, SHOWING DIVERSE ROOF GEOMETRY IN THE AREA

375 ALT 14 Ulster Drive Edin Local Review Body - 14 Ulster Drive

From: Gary Mees [gamees@gmat.demon.co.uk]
Sent: 10 July 2015 16:58
To: Nancy Jamieson
Cc: Local Review Body; Stuart Aitchison
Subject: 375 [ALT] 14 Ulster Drive, Edin [Local Review Body - 14 Ulster Drive]
Attachments: 14 Ulster Drive - 15_00952_FUL PLANNING REVIEW Addendum.docx.pdf; 375_PROPOSED_Detached.vwx.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Nancy,

Further to your email of July 1, 2015 we have put together for further review the following documentation.

Was not quite clear whether the property next door was in reference to the attached and or the dwelling opposite, therefore we have put together a panoramic of all the adjacent dwellings and to put in context the dwellings opposite, this is included in my addendum to the panel.

We also include contextual elevations indicating both elements of the detached properties, this can be seen in Drawing; PLNG - 05 CONTEXTUAL VIEW.

Trust that meets with your and the review bodies requirements, should you require any further information please do not hesitate to contact me.

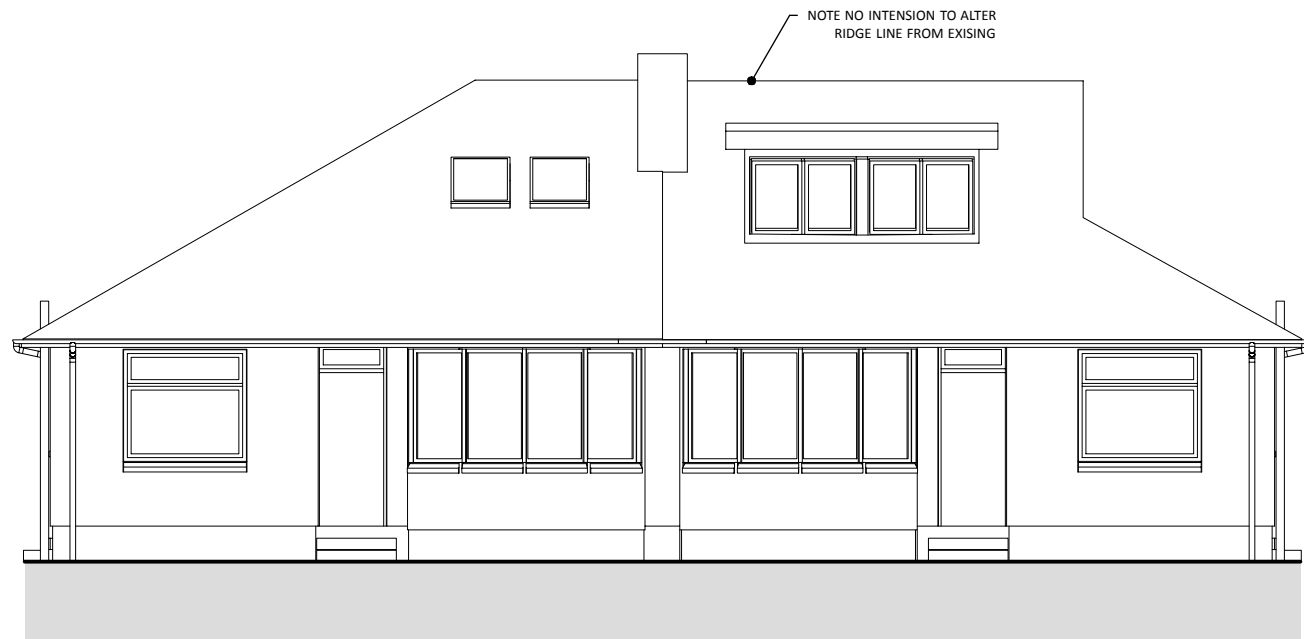
Regards

Gary

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MCIAT RMaPS
Chartered Architectural Technologist
Registered Member of Association for Project Safety
Approved Certifier of Design (Section 6, Domestic)

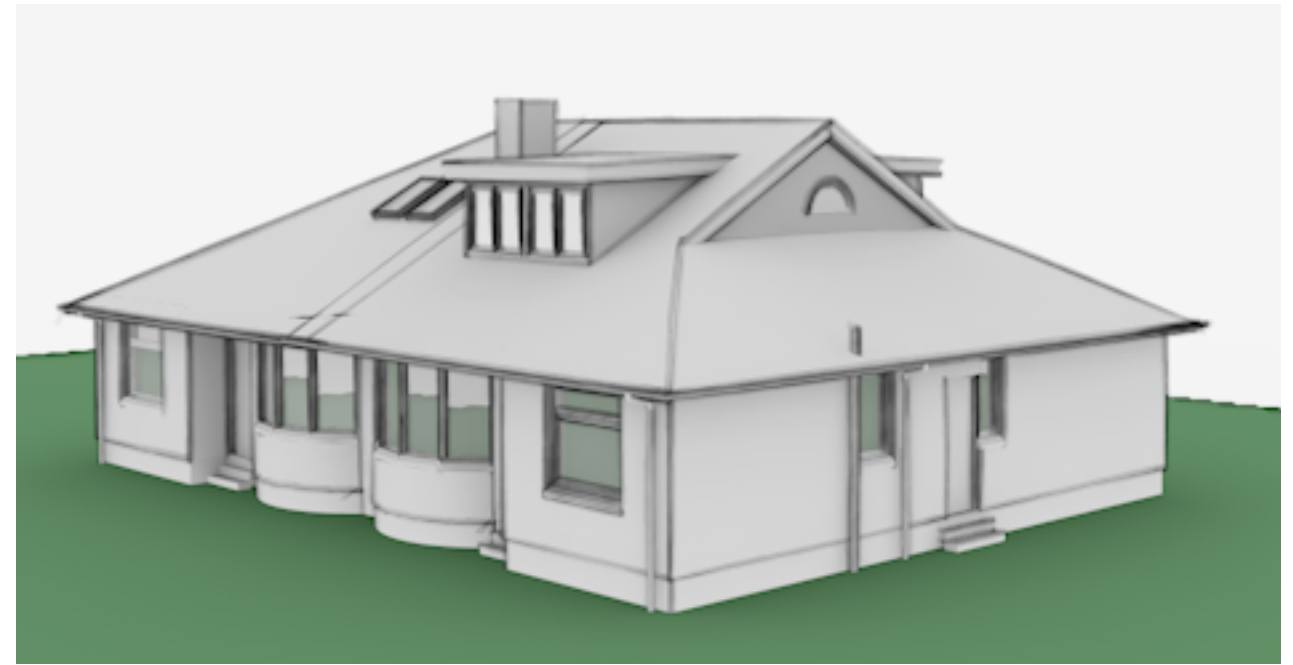
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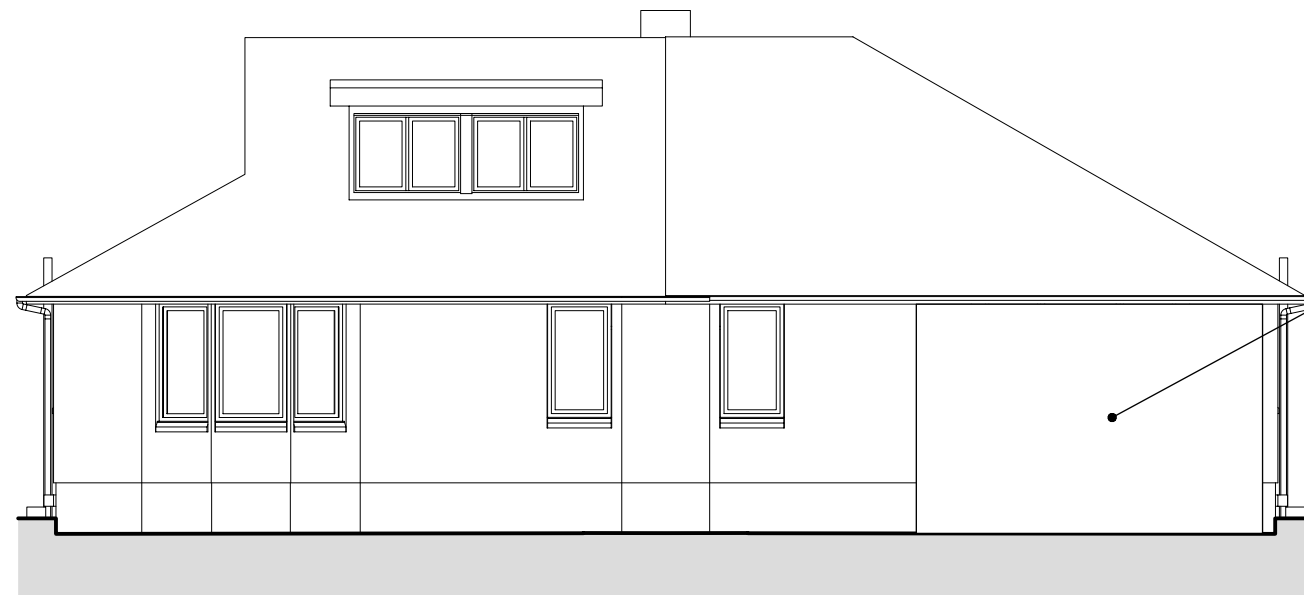


16 Ulster Drive

14 Ulster Drive



1 Scale: 1:100
FRONT ELEVATION
0 1.00 2.00 3.00 4.00 5.00 M



14 Ulster Drive

16 Ulster Drive

5 Scale: 1:100
REAR ELEVATION
0 1.00 2.00 3.00 4.00 5.00 M

"The purpose of this drawing is solely for the purposes of obtaining building warrant approval. The drawing may be suitable for construction purposes but it may be necessary to augment/and or amend this information for this purpose. No liability will be accepted for any omission on this drawing should the drawing be used for construction purposes."

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- For construction purposes do not scale from this drawing
- Contractor should take and check all dimensions on site prior to the commencement of work
- Report all discrepancies to the Supervising Officer
- Sub-contractors should verify all dimensions on site before making shop drawings or commencing with manufacture

Revision	Date	Details	By	CLIENT	Date	Project No.	Scale	Status
				Mr & Mrs S. Aitchison 14 Ulster Drive EDINBURGH	JUL 2015	375	1:100@A3	PLNG-AP
				DRAWING TITLE	CAD Code		Drawn	Checked
				CONTEXTUAL ELEVATIONS & ISOMETRIC			GAM	
					Drg. No.	PLNG - 05		Rev.