



Business Centre G.2 Waverley Court, 4 East Market Street Edinburgh EH8 8BG

Tel: 0131 529 3550

Fax: 0131 529 6206

Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 000120886-001

The online ref number is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the Planning Authority about this application.

Applicant or Agent Details

Are you an applicant, or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

G Mees MCIAT RMaPS
Architectural Technology

You must enter a Building Name or Number, or both:*

Ref. Number:

Building Name:

First Name: *

Gary

Building Number:

15

Last Name: *

Mees

Address 1 (Street): *

The Firs

Telephone Number: *

01383 820475

Address 2:

Dalgety Bay

Extension Number:

Town/City: *

Dunfermline

Mobile Number:

Country: *

UK

Fax Number:

Postcode: *

KY11 9UH

Email Address: *

gamees@gmat.demon.co.uk

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title: *	<input type="text" value="Other"/>
Other Title: *	<input type="text" value="Mr & Mrs"/>
First Name: *	<input type="text" value="S."/>
Last Name: *	<input type="text" value="Aitchison"/>
Company/Organisation:	<input type="text"/>
Telephone Number:	<input type="text"/>
Extension Number:	<input type="text"/>
Mobile Number:	<input type="text" value=""/>
	<input type="text" value=""/>
Email Address:	<input type="text" value=""/>

You must enter a Building Name or Number, or both:*

Building Name:	<input type="text"/>
Building Number:	<input type="text" value="14"/>
Address 1 (Street): *	<input type="text" value="Ulster Drive"/>
Address 2:	<input type="text"/>
Town/City: *	<input type="text" value="Edinburgh"/>
Country: *	<input type="text" value="Scotland"/>
Postcode: *	<input type="text" value="EH8 7JF"/>

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
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Full postal address of the site (including postcode where available):

Address 1:	<input type="text" value="14 ULSTER DRIVE"/>	Address 5:	<input type="text"/>
Address 2:	<input type="text"/>	Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Address 3:	<input type="text"/>	Post Code:	<input type="text" value="EH8 7JF"/>
Address 4:	<input type="text"/>		

Please identify/describe the location of the site or sites.

Northing	<input type="text" value="673671"/>	Easting	<input type="text" value="328694"/>
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Description of the Proposal

Please provide a description of the proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time of expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

A separate document has been prepared and submitted within the "Supporting Documents" section.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made? *

Yes No

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

PLNG?01-LOCATION PLAN; PLNG?02-EXISTING PLAN AND ELEVATION; PLNG?03-PROPOSED ATTIC PLAN; PLNG?04-PROPOSED ELEVATIONS and Microsoft Word - 14 Ulster Drive - 15_00952_FUL PLANNING REVIEW vi

Application Details

Please provide details of the application and decision.

What is the application reference number? *

15/00952/FUL

What date was the application submitted to the planning authority? *

06/03/15

What date was the decision issued by the planning authority? *

19/05/15

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist - Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare - Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Gary Mees

Declaration Date: 16/06/2015

Submission Date: 16/06/2015

**Review case under section 43A of the Town and Country Planning (Scotland) Act
1997 Attic conversion including the introduction of front and rear dormer, with
extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF
Application No: 15/00952/FUL**

INTRODUCTION

Mr & Mrs S. Aitchison sought to convert the attic space like many other developments in and around the area, as an alternative to maximising the useful space within the attic by the introduction of three dormers they preferred the alternative layout that has been utilised in the area, by extending the roof ridge line by just over 3 metres and with the formation of a front elevation dormer and rear elevation dormers.

The client is keen to ensure that the materials are generally in keeping with the surrounding area redwood lining and the extended ridgeline finished in slate matching the existing roof.

The dormers would be finished with vertical slate cheeks and painted plywood fascias. All dormer windows are to be white upvc, matching the other windows in the dwelling.

The Client considers this a better design solution to the alternatives.

Edinburgh District Councils Reasons for refusal:-

The reasons given for refusal of this development make reference to its scale.

Reason 1.

"The proposal is contrary to Edinburgh City Local Plan Policy Des 11 in respect of Alterations and Extensions, as it is not compatible with the character of the existing building and will be detrimental to neighbourhood amenity and character. The proposal would unbalance the existing symmetrical relationship between the application property and its neighbour. It would introduce a visually incongruous and obtrusive addition to the immediate streetscape, to the detriment of neighbourhood amenity and character."

Edinburgh City Local Plan 2010

Policy Des 11 - Alterations and Extensions

Planning permission will be granted for alterations and extensions to existing buildings which:

- a) in their design and form, choice of materials and positioning are compatible with the character of the existing building
- b) will not result in an unreasonable loss of privacy or natural light to neighbouring properties
- c) will not be detrimental to neighbourhood amenity and character.

3.29 Alterations and extensions to existing buildings generally raise similar design issues to those of new development. Every change to a building, a street or a space has the potential to enrich or, if poorly designed, impoverish a part of the public realm. The impact of a proposal on the appearance and character of the existing building and street scene generally must be satisfactory and there should be no unreasonable loss of amenity and privacy for immediate neighbours. Particular attention will be paid to ensuring that such works to listed buildings and non-listed buildings in conservation areas do not damage their special character.

Conclusion:

Review case under section 43A of the Town and Country Planning (Scotland) Act 1997 Attic conversion including the introduction of front and rear dormer, with extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF

Application No: 15/00952/FUL

We believe the design and form and choice of materials is compatible with the character of the building, this being reinforced by a previous application, where a development (04/04534/FUL | *Formation of 2no dormer windows and an extension to the roof | 17 Paisley Crescent Edinburgh EH8 7JQ*) of similar form was quoted as being relevant to policy and described as “encouraging new development of the highest possible standard”.

We would also refer you to Application no 12/01740/FUL, which also was refused and went to the Local Review Board and had the refusal overturned.

Consideration of similar developments in the area has to be taken into consideration, the combination of 3 dormered roofs scattering the roofline, as opposed to a two-dormer roof with ridge extension. The proposed extension of the ridge has been kept back so as not to extend any further than a third dormer. We would conclude that in our opinion, this proposal does not constitute an unusually intrusive feature in the area.

There is no loss of privacy or natural light to neighbouring properties.

Given the abundance of dormers in this area it would seem not to be the case that this development would unbalance the existing symmetry, as any addition to this roof would meet this criterion.

Reason 2.

The application is contrary to the non-statutory Guidance for Householders. The pitch and form of the proposed extended ridge line and resulting 'gablet', would not be compatible with the existing building and would appear intrusive and clumsy, upsetting the appearance of the house. The proposed dormers would form a significantly dominant and bulky feature on the roof.

Conclusion:

As the reason for refusal refers to a document that is a non-statutory guideline, had we adhered to these guidelines, we are sure that this would not, in itself, guarantee that consent would be granted and therefore the inverse must also be true. Non-compliance with the guidelines should not in itself warrant refusal, as these are only guidelines and with no statutory status.

This roof form has been used throughout the area and, as previously mentioned, within other planning applications as a development of high standard.

Supporting reasoning for reversal of decision:

Not only have there been no objections from local residents, via the planning portal, the client has contacted the local residents, showing them their proposals. No objections, formally or informally have been expressed with this proposed development.

Attached are examples of similar and the alternative three dormer developments that have been previously approved in this surrounding area.

Review case under section 43A of the Town and Country Planning (Scotland) Act 1997 Attic conversion including the introduction of front and rear dormer, with extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF

Application No: 15/00952/FUL

EXAMPLES OF SIMILAR DEVELOPMENTS IN AND AROUND THE VISINITY OF THE PROPOSED DEVELOPMENT:



Review case under section 43A of the Town and Country Planning (Scotland) Act 1997 Attic conversion including the introduction of front and rear dormer, with extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF
Application No: 15/00952/FUL



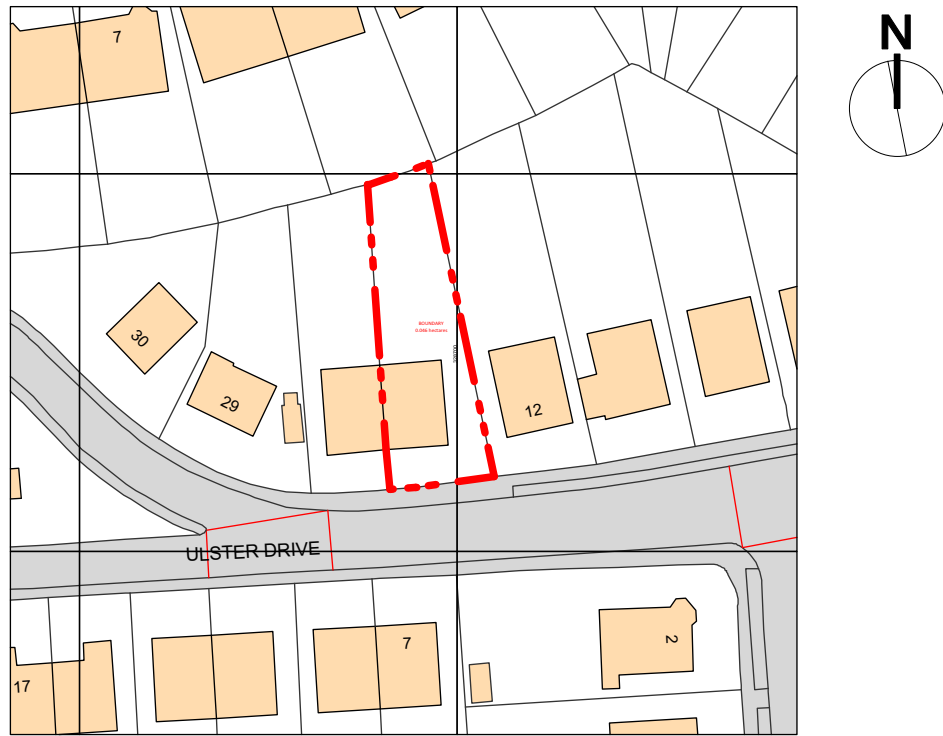
ALTERNATIVE DEVELOPMENTS THAT ARE IN AND AROUND THE PROPOSED DEVELOPMENT:



Review case under section 43A of the Town and Country Planning (Scotland) Act 1997 Attic conversion including the introduction of front and rear dormer, with extended roof ridge. At 14 Ulster Drive Edinburgh EH8 7JF
Application No: 15/00952/FUL

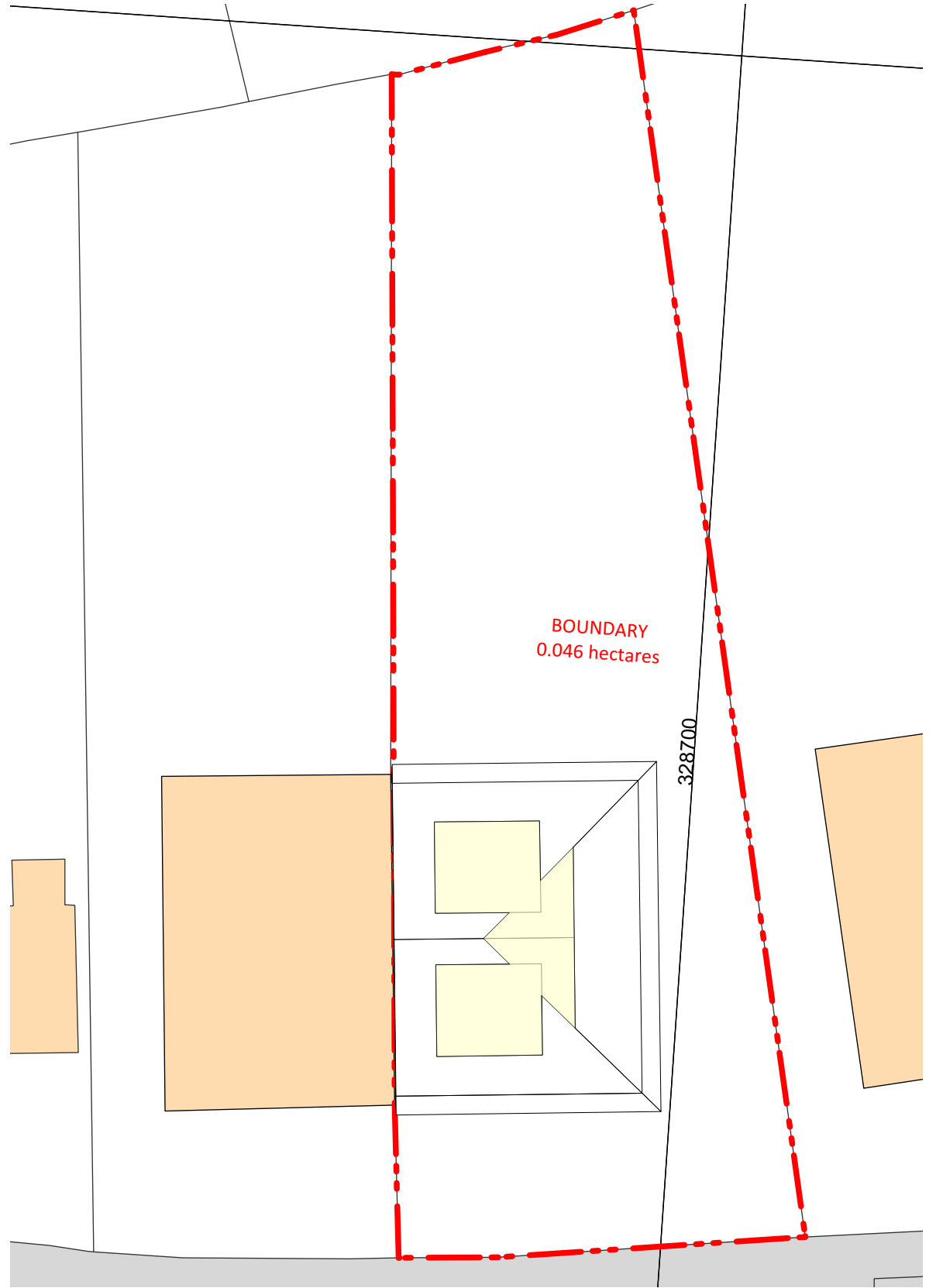


In conclusion we would seek Local Review Body to reconsider the matter afresh and make its own assessment of how this a proposal might impact on the character of the property and the surrounding area. Considering the photographs provided within this appeal document showing similar developments in the area and come to its own conclusion that these proposals would not constitute an unusually intrusive feature.



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1 LOCATION
Scale: 1:1000



2 BLOCK PLAN
Scale: 1:200

"The purpose of this drawing is solely for the purposes of obtaining building warrant approval. The drawing may be suitable for construction purposes but it may be necessary to augment/and or amend this information for this purpose. No liability will be accepted for any omission on this drawing should the drawing be used for construction purposes."

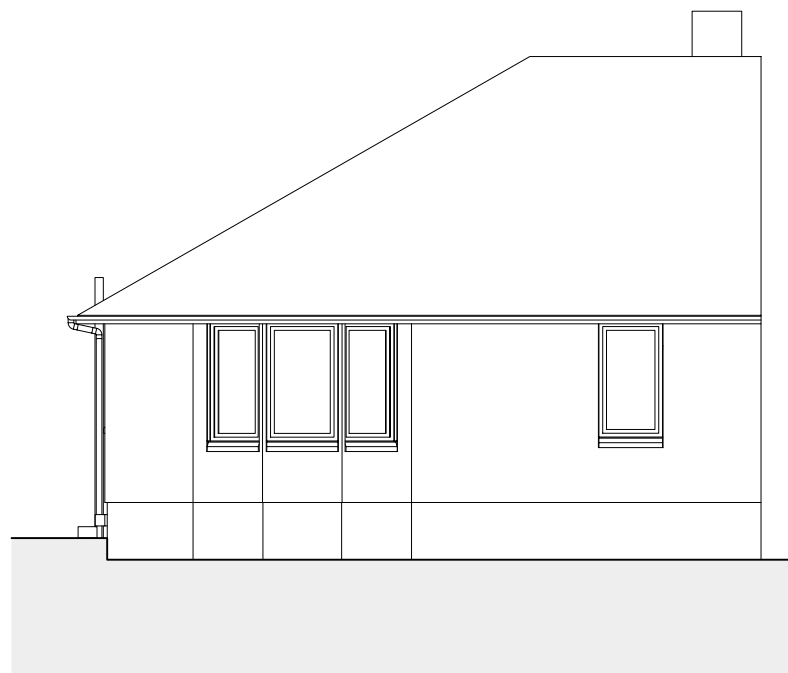
Gary Mees MCIAT RMaPS
ARCHITECTURAL TECHNOLOGY
15 The Firs, Dalgety Bay.
Dunfermline. KY11 9UH
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- Report all discrepancies to the Supervising Officer
- Sub-contractors should verify all dimensions on site before making shop drawings or commencing with manufacture

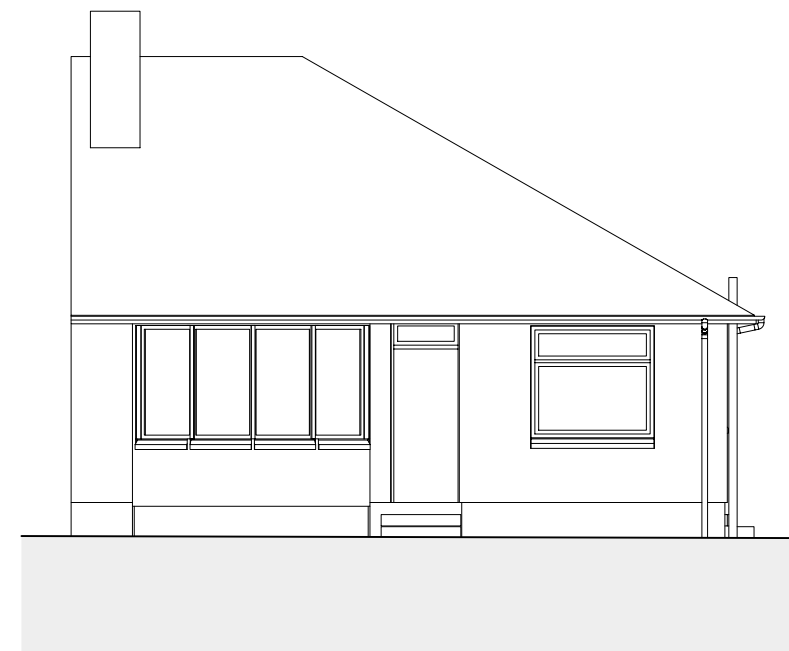
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CLIENT Mr & Mrs S. Aitchison 14 Ulster Drive EDINBURGH	Date Jan 2015	Project No. 375	Scale VARIOUS	Status PLNG
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Drg. No. PLNG - 01			Rev. -	

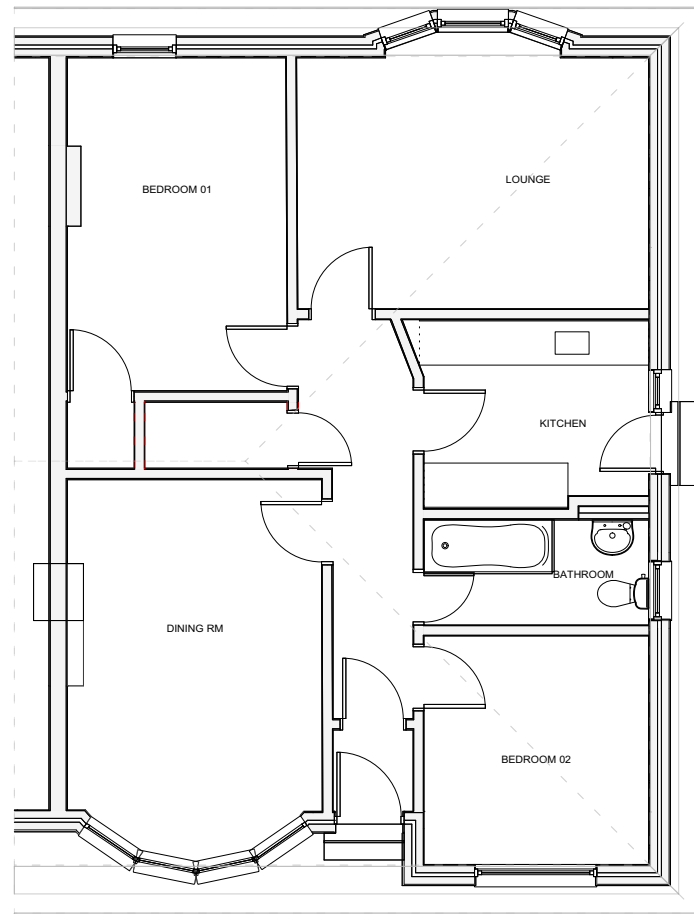
Date Jan 2015	Project No. 375	Scale VARIOUS	Status PLNG
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Drg. No. PLNG - 01			Rev. -



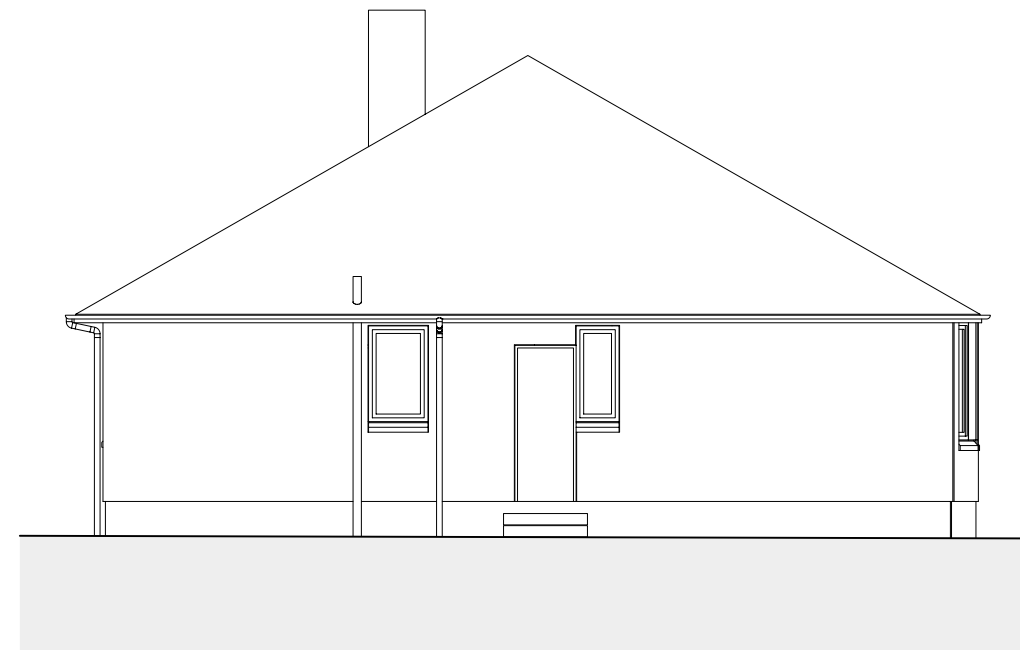
1 REAR ELEVATION
Scale: 1:100



2 FRONT ELEVATION
Scale: 1:100



3 PLAN
Scale: 1:100



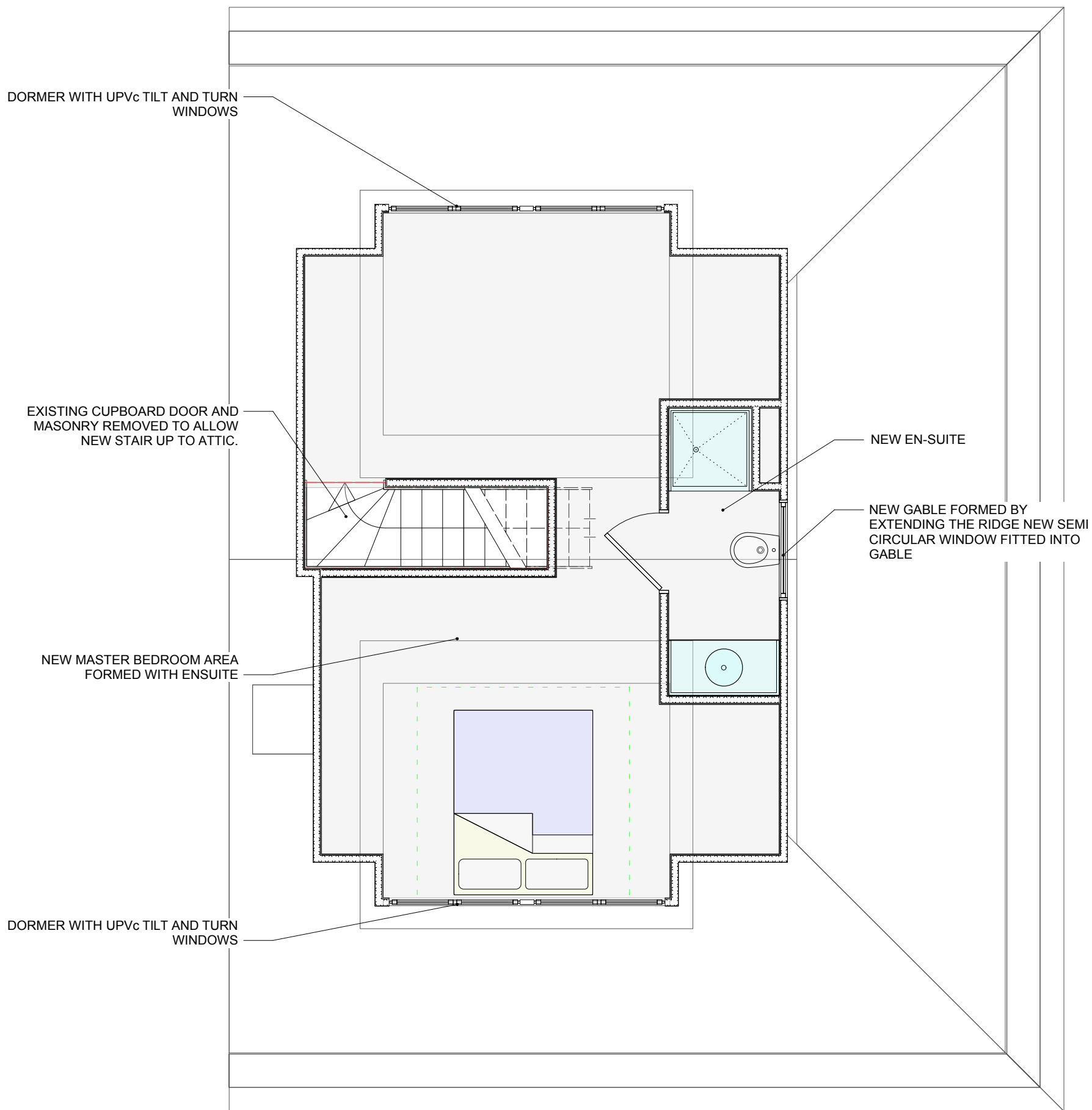
4 SIDE ELEVATION
Scale: 1:100

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Revision	Date	Details	By	CLIENT	Date	Project No.	Scale	Status
				Mr & Mrs S. Aitchison 14 Ulster Drive EDINBURGH	JAN 2015	375	1:100@A3	PLNG
				DRAWING TITLE	CAD Code		Drawn	Checked
				14 Ulster Drive EDINBURGH	375_EXISTING.vwx		GAM	
				EXISTING PLAN AND ELEVATIONS	Drg. No.	PLNG - 02		Rev. -



2 PROPOSED ATTIC PLAN
Scale: 1:50

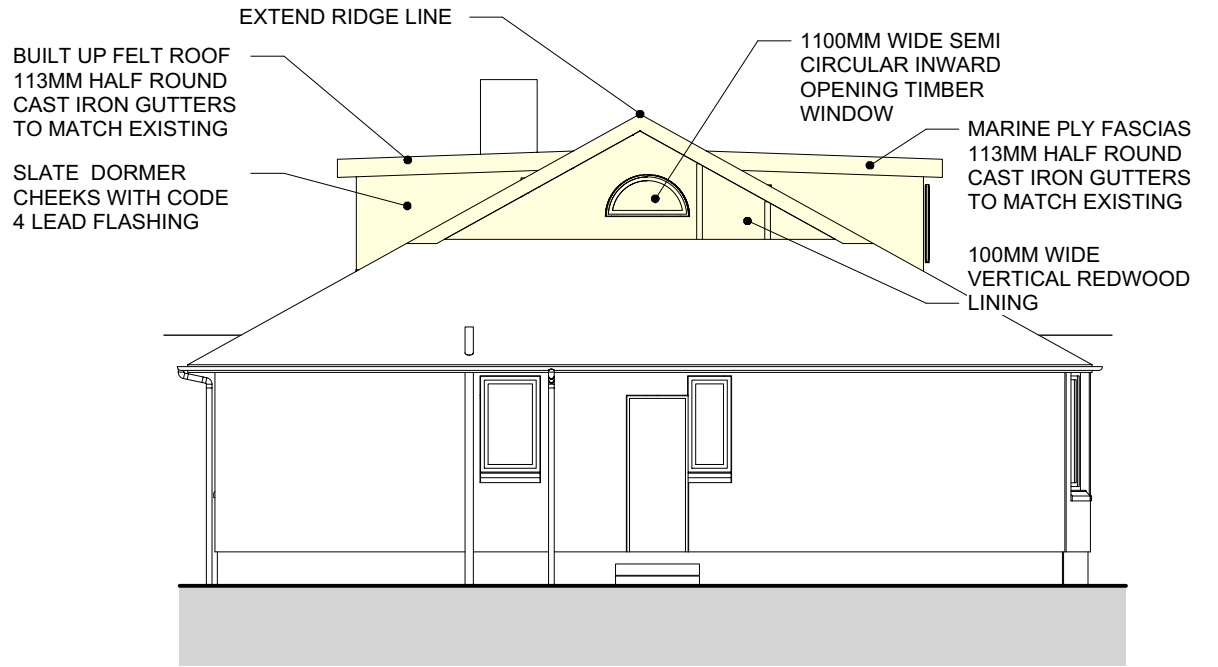
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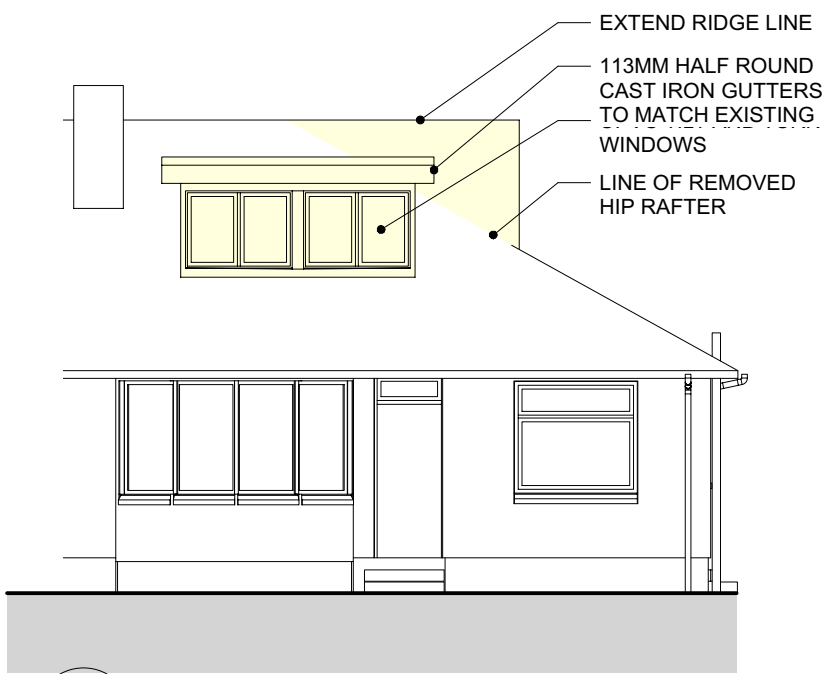
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				PROPOSED ATTIC PLAN	Drg. No.	Rev.			
					PLNG - 03		-		

FINISHES:

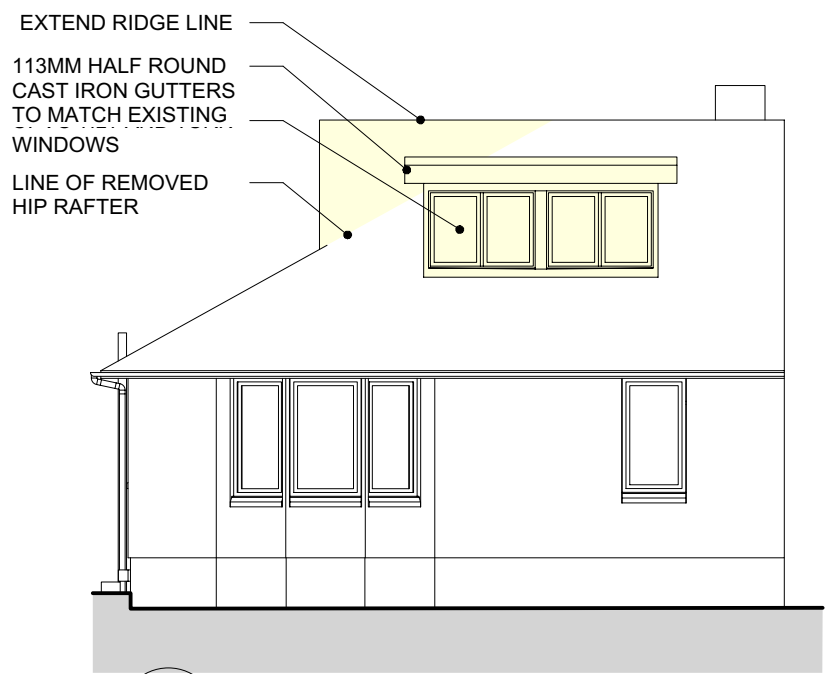
ROOFS FLAT: GREY SINGLE PLY MEMBRAIN
 ROOFS PITCHED: SLATE TO MATCH EXISTING.
 DORMER CHEEKS VERTICAL SLATE
 FACIAS: PLYWOOD PAINTED TO MATCH EXISTING
 WINDOWS : UPVc WHITE TO MATCH EXISTING
 RAINWATER GOODS: CAST IRON PAINTED TO MATCH EXISTING.



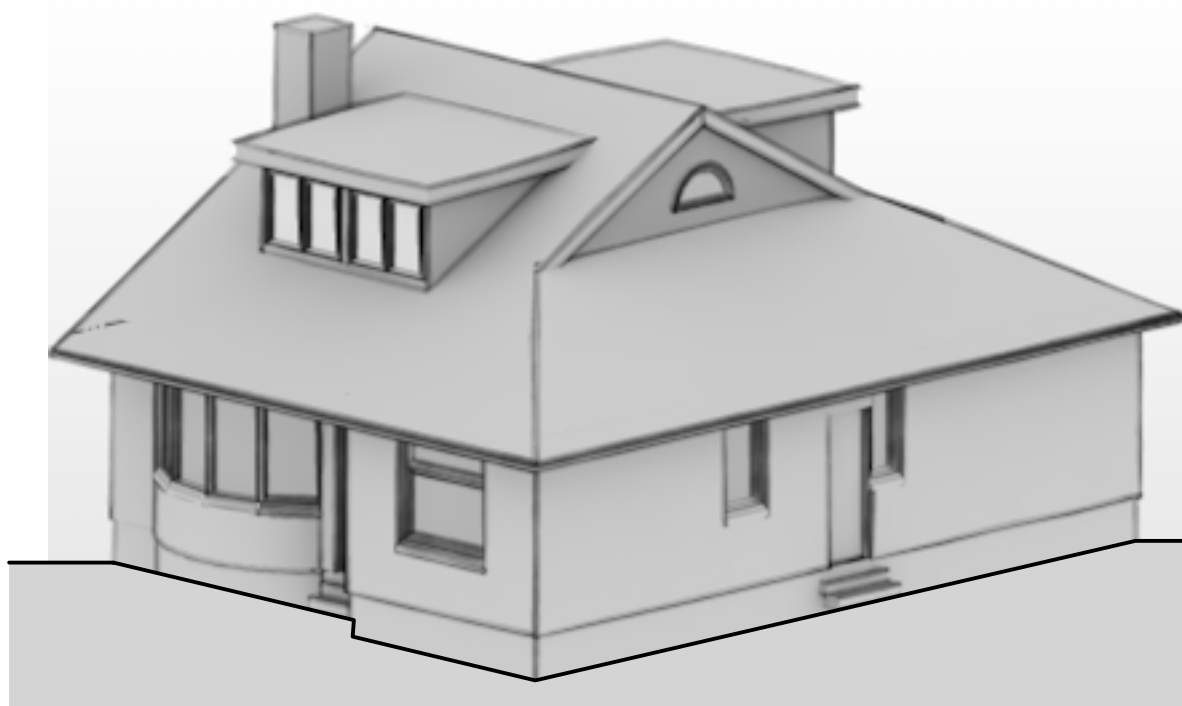
5 GABLE ELEVATION
 Scale: 1:100
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5 FRONT ELEVATION
 Scale: 1:100
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5 REAR ELEVATION
 Scale: 1:100
 0 1.00 2.00 3.00 4.00 5.00 M



5 AXONOMETRIC
 Scale: 1:100

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				PROPOSED ELEVATIONS & ISOMETRIC	Drg. No.	Rev.		
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