

Application by City of Edinburgh Council 06/00109/CEC

at

26 Hailesland Place

Edinburgh

EH14 2SL

Development Quality Sub-Committee of the Planning Committee

1 Purpose of report

To consider application 06/00109/CEC, submitted by City Of Edinburgh Council. The application is for: **Demolish existing pre-fabricated building and construct new two-storey community office building**

It is recommended that this application be **APPROVED**.

2 The Site and the Proposal

Site description

The site is a series of portacabins which have been joined together to form a Community Facility known as the 'Dove Centre'. The site lies immediately to the south of the newly constructed section of Union Canal within Wester Hailes. The Holy Trinity Church lies to the south east of the site and a workshop area lies to the west off Hailesland Place.

Site history

28.8.2003 Planning permission was granted for the construction of a two storey community building comprising offices, helpdesk and cafeteria (02/01498/CEC)

Description of the Proposal

The proposal is to demolish the existing Dove Centre, which is a community day centre for elderly people. A new two storey, community office building is proposed as a replacement. The ground levels are to be lowered by 1.3 metres on the northern side of the building. The building would be 8.7 metres high to the eaves on this elevation and 6 metres to the eaves on the south elevation. The building would have a smaller footprint than the existing buildings and would measure 293 square metres. Although the building is two stories in height the first phase of the building only uses the ground floor for accommodation. A phase 2 development would see the introduction of a mezzanine floor over half the floor space.

The building would be finished in off white smooth render, oak hard wood cladding, Eternit infill panels, galvanised steel balustrades and security screens, aluminium framing, timber windows and an aluminium roof.

The applicants have submitted a supporting design statement, copies of which are available in the Members' Group Rooms.

3 Officer's Assessment and Recommendations

DETERMINING ISSUES

The determining issues are:-

- Do the proposals comply with the development plan?
- If the proposals do comply with the development plan, are there any compelling reasons for not approving them?
- If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

ASSESSMENT

To address the determining issues, the Committee needs to consider whether:-

- a) The proposed use is acceptable within this location;
- b) Whether the proposals have an adverse impact on the character or appearance of the area and the Union Canal;
- c) Whether the proposals are detrimental to residential amenity.

a) The proposed use is a community office building. The immediate area of the site is typified by Community facilities including workshop space, religious uses, recreation and education. This grouping of community uses is within a wider residential area and contributes to the facilities of that area. It is not

located immediately next to any residential uses and is considered to be compatible with both the neighbouring uses and the wider residential area providing it complies with other policies for the area.

b) The existing buildings are a series of temporary portacabin type buildings which have been linked together. The proposed building has been designed to take account of specific needs and is not a temporary structure. The design is of a high quality which uses modern materials and is considered to be an improvement, which sets a high standard for the potential redevelopment of the surrounding area. The development is also proposed to be landscaped and provide linkages to the wider area.

With regard to the relationship with the adjacent Union Canal, the existing ground levels would be reduced and the front of the building relates to the new mooring facility which is located on the south side of the canal. The proposal includes landscaping along the buildings canal frontage and the building does not turn its back on it. The recreational potential of the canal is both protected and enhanced in compliance with Policy E14 of the South West Edinburgh Local Plan.

The design does not adversely affect the Union Canal, which is an ancient monument or its setting. The proposal does not adversely affect the urban wildlife site. The proposal is considered to enhance the character of the area and as such is acceptable in design terms.

c) The proposal is not located directly adjacent to any residential properties and as such will not adversely affect residential amenity.

In conclusion, the proposal is an established use and the new building will not detrimentally affect residential amenity or road safety. The design of the new building is acceptable and there are no material considerations which outweigh this conclusion.

The proposal is development by the Local Authority and one objection has been received on transport grounds. The Scottish Ministers therefore require to be notified of the Local Authorities intention to approve the proposal.

It is recommended that the Committee approves this application.

Alan Henderson

Alan Henderson
Head of Planning and Strategy

Contact/tel	David McFarlane on 0131 529 3512
Ward affected	41 - Murrayburn
Local Plan	South West Edinburgh Local Plan
Statutory Development Plan Provision	Residential
Date registered	18 January 2006
Drawing numbers/	1-13
Scheme	Scheme 1

Advice to Committee Members and Ward Councillors

The full details of the application are available for viewing on the Planning and Building Control Portal: www.edinburgh.gov.uk/planning.

If you require further information about this application you should contact the following Principal Planner, Helen Martin on 0131 529 3517. Email: helen.martin@edinburgh.gov.uk

If this application is not identified on the agenda for presentation, and you wish to request a presentation of this application at the Committee meeting, you must contact Committee Services by 9.00a.m. on the Tuesday preceding the meeting on extension 4229/4239. Alternatively, you may e-mail gavin.king@edinburgh.gov.uk or sarah.bogunovic@edinburgh.gov.uk

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Proposal: Demolish existing pre-fabricated building and construct new two-storey community office building
Reference No: 06/00109/CEC

Consultations, Representations and Planning Policy

Consultations

Transport Planning (Development Control)

No objections

Environmental and Consumer Services

With reference to the above, this Department offers no objections subject to the following.

AM 12C The design, installation and operation of any plant, machinery or equipment shall be such that any associated noise complies with NR25 when measured within any nearby living apartment.

AM 10C All music and vocals, amplified or otherwise, shall be so controlled as to be inaudible within any neighbouring premises.

Lothian and Borders Police

The area in which this proposed development is situated experiences high levels of reported crime and anti-social behaviour. There were 1452 incidents in total last year within the local ward area. There were 50 crimes reported within Hailesland Place itself, which are outlined below.

Crime Type

Number of Incidents

Other

11

Assault

5

Housebreaking

5

Theft Cycle

1

Breach of Peace

6

Car Break-in

7

Car Vandalism

1

Vandalism

4

Theft -General

10

It is important that the security of Community Centres in the city is given serious consideration as they regularly experience incidents of Vandalism and Theft.

Contact has been made with the project architect, Fiona Harvey. She has indicated that her client (The Council) wish to apply for a Secured by Design (SBD) Award for this building.

The general design of this building and surrounding grounds is to a high standard. As such few security concerns exist and little work would be required to achieve SBD accreditation.

The following points should be considered: -

1. Sliding "Elefant" Door/Window Screens

These should offer a high degree of protection against vandalism to the building windows. Providing that the locking mechanisms are robust they will also protect the building and its contents against break-in and theft.

Consideration should also be given to screening the windows on the North elevation or at least designing them in such a manner that screens could be fitted at a later date, if required. Products such as "Crimeshield" are SBD endorsed and may be suitable for use here.

All ground floor windows must be PAS 24 approved/tested in order for this building to receive an SBD award.

2. Doors

The main door, fire door and those on the North facing balcony must all be PAS 24 approved /tested (minimum standard) in order for this building to receive an SBD award.

3. External Lighting

It is not clear from the plans if any external lighting is being proposed. Strong consideration should be given to the installation of metal halide security lighting above vulnerable areas such as the main entrance, car park, fire exit and the balcony doors to the North. Light should be evenly distributed and allow clear colour rendition, especially as there are existing CCTV cameras operating nearby. It should also be situated out of reach and designed to be vandal resistant.

4. Vegetation

The planting of dense growing prickly vegetation around the North side of the building will enhance the security of this area by discouraging the presence of intruders here.

5. Internal Security

It is not clear at this stage what the building will be used for or what equipment (valuable or otherwise) will be stored there. If computer equipment is to be stored within further security measures may be required to prevent its theft.

The building must have a monitored intruder/fire alarm system fitted by an NSI approved company.

It may be beneficial to install the necessary cabling/ducting should the installation of CCTV be required in the future, once the use of this building is known. The Police can offer further detailed advice on CCTV if required at a later date.

Recommendation

The applicant must be strongly encouraged to contact the Police and seek Secured by Design (SBD) accreditation for this development. At this stage further detailed security advice can be given.

SBD is a Police/Home Office backed initiative aimed at improving security levels within the built environment. Their specific design guides incorporate current best practice, which has been shown to reduce levels of criminal activity where its recommendations have been adopted.

The SBD design guides can be found on www.securedbydesign.com

British Waterways

We write with reference to the above application and endorse the approach taken by the applicant to ensure a high quality building which is truly integrated with the canal. British Waterways has no objection to the development but would like to make the following comments:

Linkage with the canal

Elevation drawing 0429/D-008 Rev D illustrates a strong visual link with the canal and will serve to engender a feeling of safety in those using the canal and towpath.

The proposed development sits adjacent to the canal towpath. An opportunity therefore exists for the applicant to provide pedestrian access from the community facility to the towpath, which will enhance recreational opportunities. British Waterways would welcome the opportunity to discuss this matter further with the Planning Authority and applicant.

Creation of a decking area, adjacent to the full length windows fronting the canal would enhance the quality of open space provision and encourage further connection to the canal.

Foul Drainage

The plans do not indicate how foul drainage will be disposed of. No foul drainage is to be disposed of into the canal.

Landscaping

Herbicide treatment used on planting adjacent to the canal should be of a type suitable for use near water. We believe this matter can be regulated by a condition attached to the planning consent.

The provision of soft landscaping adjacent to the canal is illustrated on the application plans. Trees and plants native to the area should be used to form a boundary between the development and the canal. Where possible native trees and plants should be retained. Willow, ash and snowberry species should not be used to form boundaries between the development and the canal. The roots of willow and ash trees can permeate the canal wall leading to considerable water leakage. Snowberry has a tendency to spread and can cause problems with canal and canal side maintenance. British Waterways are happy to provide information on suitable species and in this regard please contact Olivia Lassiere at this office.

Maintenance of boundary treatments and planting will not be undertaken by British Waterways. The applicant must be responsible for maintenance. Access to British Waterways land to perform maintenance works must be agreed with them and in this regard the applicant should make contact with British Waterways.

Ownership

We note that it proposed for development to take place adjacent to land owned by British Waterways. The consent of British Waterways to undertake works associated with construction or maintenance of the completed development on or from their land

will be required by the applicant. The applicant should contact British Waterways in this regard.

Protection of the canal and canal side during construction

Excavation materials resulting from development must not be deposited in the canal to ensure the canal remains navigable and its integrity is not harmed in any way. The canal and canal side require to be protected through out construction. We believe this matter can be regulated by a condition attached to the planning consent.

The canal towpath lies next to the development and there is potential for the towpath and canal side to be damaged during construction works. A condition survey should be prepared prior to development and once development has been completed necessary repair works should be undertaken by the developer. We believe this matter can be regulated by a condition attached to the planning consent.

SUDS

No surface water should be discharged into the canal. Discharge into the canal can only take place with the agreement of British Waterways and in this regard the applicant must contact British Waterways if they seek to utilise the canal for this purpose. Suitable barriers between the development and the canal should be put in place to prevent discharge. Surface water discharge can pollute and increase the water level of the canal.

Permeable road and paving surfaces require to be used as part of the development's construction to prevent surface run-off into the canal and canal side.

Scheduled Ancient Monument status

The canal is a Scheduled Ancient Monument and due to its proximity to the proposed development, advice should be sought from Historic Scotland concerning the requirement or otherwise for Scheduled Ancient Monument Consent.

British Waterways (further comments)

I can confirm that British Waterways are happy for the proposed development to progress without provision of a pedestrian access to the adjacent canal tow path. The existing footpath network allows for adequate access for users of the facility to the towpath.

It is important that the setting of the canal is enhanced and protected. In this regard appropriate landscape treatment should form a boundary between the canal and the proposed development. The application drawings illustrate a boundary treatment of soft landscaping and it is requested that when preparing the landscaping scheme, contact is made with Olivia Lassiere of British Waterways to discuss suitable species for canal side use.

Historic Scotland

Historic Scotland consider the development to be acceptable in term of its impact on the setting of the above scheduled ancient monument. Furthermore we welcome the recognition given to the canal in providing a frontage to the canal which both exploits the views along the canal and which provides interest when viewed from the canal.

Representations

The proposal was advertised on 27.01.2006 and one letter of objection has been received. The letter is from the Community Development and Resources Agency for Wester Hailes (The REP Council Ltd) and their points raised are as follows:-

- insufficient car parking associated with the development
- narrow access to the site
- access concerns, especially during construction period

Full copies of the representations made in respect of this application are available in Group Rooms or can be requested for viewing at the Main Reception, City Chambers, High Street.

Planning Policy

The site lies within an area mainly allocated for housing on the South West Edinburgh Local Plan area where the existing residential character and amenities are to be protected. The site also lies adjacent to the safeguarded route of the Union Canal and within the Wester Hailes Partnership Boundary.

The site is also allocated for housing on the Draft West Edinburgh Local Plan area. It is adjacent to the newly constructed section of Union Canal which is identified as a recreation corridor, urban wildlife site and scheduled ancient monument.

Relevant Policies:

Policy H5 establishes that the introduction of non-residential uses within areas of predominantly residential character will only be accepted where they are compatible with the primary housing use of the area. It also establishes a presumption in favour of developments which enhance the provision of local community facilities and services.

Policy E5 requires all new buildings to make a positive contribution to the overall quality of the environment throughout South West Edinburgh in terms of materials, landscaping, setting and other matters.

Policy E6 seeks to preserve and protect ancient monuments and archaeological sites.

Policy E14 seeks to protect and enhance the recreational potential of the Union Canal and proposes a number of measures for this purpose.

Policy DQ6 states that new development should be designed to make a positive contribution to the quality, accessibility and safety of the environment, having regard to the character, opportunities and constraints of the site and its surroundings and the basic character of the city.

Policy DQ7 states that the new development should include proposals for new tree planting and robust landscaping to achieve a suitable visual setting for new buildings and enhance open spaces and boundaries. It should be designed to minimise its impact on any trees subject to a Tree Preservation Order and other healthy trees worthy of retention.

Policy DQ20 protects Scheduled Ancient Monuments against development which would adversely affect their setting

Policy GE11 states that development within or affecting Urban Wildlife Sites will not be permitted unless it can be demonstrated that appropriate mitigation measures can be incorporated into the development to enhance or safeguard the nature conservation value of the site

Policy GE16 The recreational value of the Water of Leith and Union Canal corridors will be protected and enhanced, subject to safeguarding their wildlife value.

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Conditions/Reasons associated with the Recommendation

Recommendation

It is recommended that this application be **APPROVED**.

Reasons

INFORMATIVES

It should be noted that:

1. This application shall be notified to Scottish Ministers as a Notification of Intention to Develop
2. The design and installation of any plant, machinery or equipment shall be such that any associated noise complies with NR25 when measured within any nearby living apartment, and no structure borne vibration is perceptible within any nearby living apartment.
3. All music and vocals, amplified or otherwise, shall be so controlled as to be inaudible within any neighbouring premises.
4. The development hereby permitted shall be commenced no later than five years from the date of this consent.
5. That prior to the commencement of the development a fully detailed landscaping scheme including details of all hard and soft surface and boundary treatments and all planting shall be submitted to and approved in writing by the Head of Planning and Strategy.
6. The approved landscaping scheme shall be fully implemented within six months of the completion of the development, and thereafter shall be maintained by the applicants and/or their successors to the entire satisfaction of the planning authority; maintenance shall include the replacement of plant

stock which fails to survive, for whatever reason, as often as is required to ensure the establishment of the approved landscaping scheme.

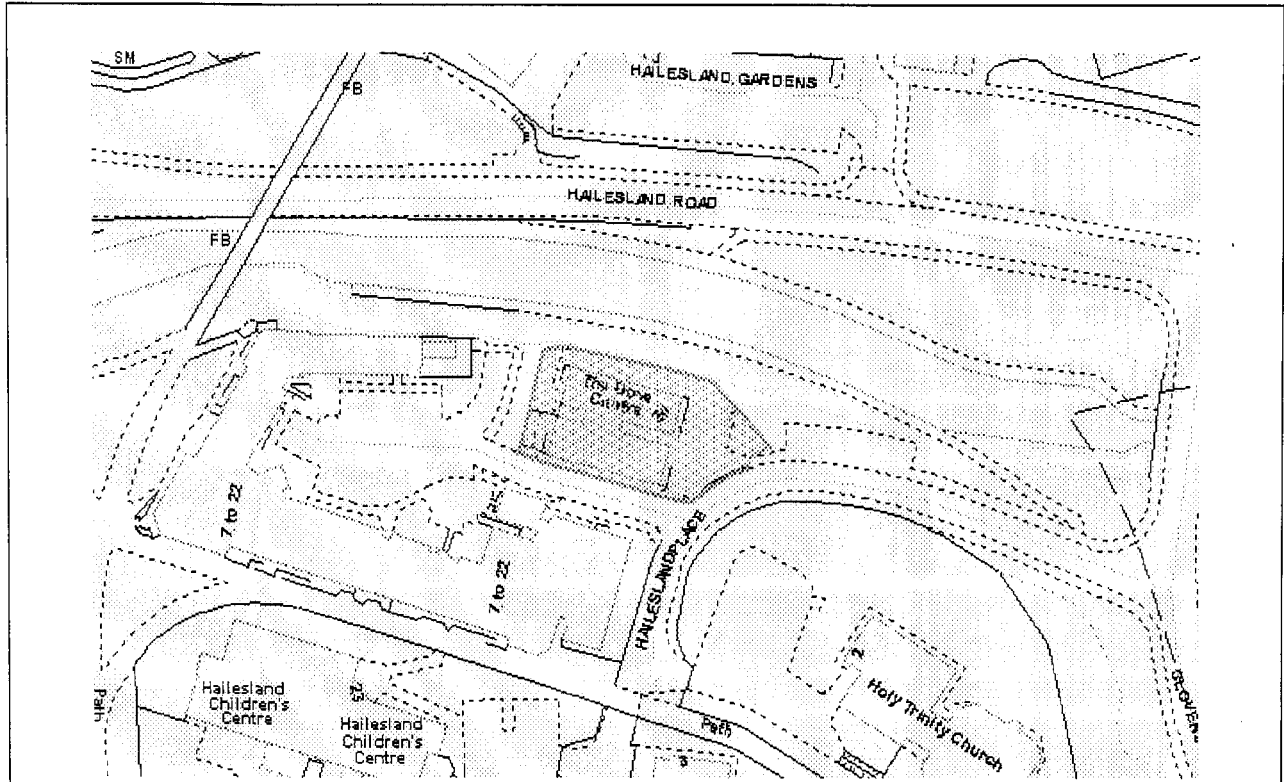
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Location Plan



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