

Full Planning Application 06/00602/FUL
at
23 Cramond Road North
Edinburgh
EH4 6LY

Development Quality Sub-Committee
of the Planning Committee

1 Purpose of report

To consider application 06/00602/FUL, submitted by Dr Shah. The application is for: **Alterations and extension to existing detached house to include two storey and single storey extension to rear.**

It is recommended that this application be **GRANTED** subject to the conditions in Appendix B.

2 The Site and the Proposal

Site description

The application site comprises a large two storey detached dwelling set within a large garden in a wholly residential area close to the junction of Cramond Road North with Gamekeeper's Road.

The property has a large front garden area enclosed by stone walls. There is a pitched roof garage located to the side of the dwelling and a two storey bay projection on the front. The roof is hipped and the front elevation is dressed stone with render to the secondary elevations.

To the rear the large garden area is bounded to the north by woven panel fencing panels atop a brick wall to a height of 2.0 metres and to the south by trellis panels atop a brick wall to a similar height and supplemented by conifer bushes and trees.

The neighbouring property at No 25 has a single storey rear projection across the rear of the property the side wall of which forms the common boundary for the first 3.5 metres.

Site history

There is no relevant planning history for this site.

Description of the Proposal

The application is for the erection of rear extensions to the dwelling comprised in three parts. A two storey angled extension to one side; the ground floor extending 7.7 metres by an average of 6.1 metres with the first floor element extending 4.0 metres. A single storey angled extension, to the opposite side, of 5.0 metres by an average of 3.9 metres. And an infill conservatory extension projecting 3.5 metres and an average of 5.2 metres in width.

All of the extensions have mono pitched roofs of 10 degree pitch comprised of zinc roof finish. The walls are to be rendered to match the existing property.

The scheme also includes a loggia (covered open arcade) from the end of the two storey extension a distance of 10.3 metres along the common boundary to a shed 1.8 metres square to a height of 2.0 metres. The loggia is under a shallow sloping roof measuring 2.5 metres at its highest.

Also identified on the plans is a free standing sauna. This is greater than 5 metres from any part of the existing or extended dwelling house and therefore constitutes 'permitted development'.

3 Officer's Assessment and Recommendations

DETERMINING ISSUES

The determining issues are:

- Do the proposals comply with the development plan?
- If the proposals do comply with the development plan, are there any compelling reasons for not approving them?
- If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

ASSESSMENT

To address these determining issues, the Committee needs to consider whether:

- a) The scale and design of the proposals are appropriate to the character and appearance of the property and its surroundings; and
- b) There will be any loss of residential amenity as a result of the proposals.

a) The proposal is of a modern, angular design utilising low sloping roofs that maintain the level of the two storey part of the extensions below the existing eaves level. The roof materials are zinc and single ply membrane which, given the proposed roof slope, are bespoke and do not match the existing. Although the roof, and therefore the form, of extensions does not match with that of the existing building they will complement the existing slated finish to the traditional hipped roof of the dwelling.

The proposal is generally proportionate in size with the existing property, with much of the new floor space provided within the ground floor. The size and mass of the proposals comply with the terms of the Council's Non-Statutory guidance.

The extensions are not symmetrical and the proposal is not designed as such. However, the rear elevations of the adjoining properties have also been the subject of alterations and/or extensions and therefore there is no prevailing symmetrical character to these properties.

The proposed developments, beyond the extensions within the garden, are relatively simple in design and minor in their impact upon the site as a whole and the surroundings. The loggia and shed would ordinarily have been 'permitted development' if they were located greater than 5 metres from the house.

- b) The property benefits from a large rear garden area and the proposal will retain an adequate level of amenity space for the present and future occupants of the dwelling.

The proposal complies with the Council's Non-Statutory guidelines on daylighting and overshadowing and there will be no detrimental loss of amenity resulting to the neighbouring properties.

In conclusion, the proposal is in accordance with the Development Plan and it will not have any adverse implications for present levels of residential amenity.

It is recommended that the Committee approves this application.

Alan Henderson

Alan Henderson
Head of Planning and Strategy

Contact/tel John Maciver on 0131 529 3918
Ward affected 05 - Cramond
Local Plan North West Edinburgh Local Plan
**Statutory Development
Plan Provision** Mainly Residential
Date registered 17 February 2006

Drawing numbers/ 01-05
Scheme Scheme 1

Advice to Committee Members and Ward Councillors

The full details of the application are available for viewing on the Planning and Building Control Portal: www.edinburgh.gov.uk/planning.

If you require further information about this application you should contact the following Principal Planner, Graham Dixon on 0131 529 3516. Email: graham.dixon@edinburgh.gov.uk

If this application is not identified on the agenda for presentation, and you wish to request a presentation of this application at the Committee meeting, you must contact Committee Services by 9.00a.m. on the Tuesday preceding the meeting on extension 4229/4239. Alternatively, you may e-mail gavin.king@edinburgh.gov.uk or sarah.boqunovic@edinburgh.gov.uk

Application Type Full Planning Application
Application Address: 23 Cramond Road North
Edinburgh
EH4 6LY

Proposal: Alterations and extension to existing detached house to include two storey and single storey extension to rear.

Reference No: 06/00602/FUL

Consultations, Representations and Planning Policy

Consultations

No consultations undertaken.

Representations

Two letters of objection were received. Those concerns raised are summarised as follows:

- Symmetry of the building would be affected;
- Unduly large extension;
- Development within the garden out of keeping with character; and
- Proposed materials are not in keeping with the area.

Other points raised are not material.

Full copies of the representations made in respect of this application are available in Group Rooms or can be requested for viewing at the Main Reception, City Chambers, High Street.

Planning Policy

Draft West Edinburgh Local Plan – Urban Area

Relevant Policies:

DQ6 states that new development should be designed to make a positive contribution to the quality, accessibility and safety of the environment, having regard to the character, opportunities and constraints of the site and its surroundings and the basic character of the city.

DQ11 Alterations and extensions, where acceptable in principle, should be subservient and relate clearly to the original building. They should be of a suitable scale to the existing building and space around it.

North West Edinburgh Local Plan – Mainly Residential Area, where existing residential character and amenities are to be protected.

Relevant Policies:

Policy H4 requires new development to be sympathetic in scale and density with its surroundings. In conservation areas and defined "areas of interest" in particular, special care is required to protect local character and amenity.

Non-statutory guidelines 'DAYLIGHTING, PRIVACY AND SUNLIGHT' set criteria for assessing proposals in relation to these issues.

Non-statutory guidelines on 'HOUSE EXTENSIONS AND ALTERATIONS' set out the design principles against which proposals will be assessed.

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Conditions/Reasons associated with the Recommendation

Recommendation

It is recommended that this application be **GRANTED** subject to the conditions below.

Conditions

1. The development hereby permitted shall be commenced no later than five years from the date of this consent.

Reasons

1. In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.

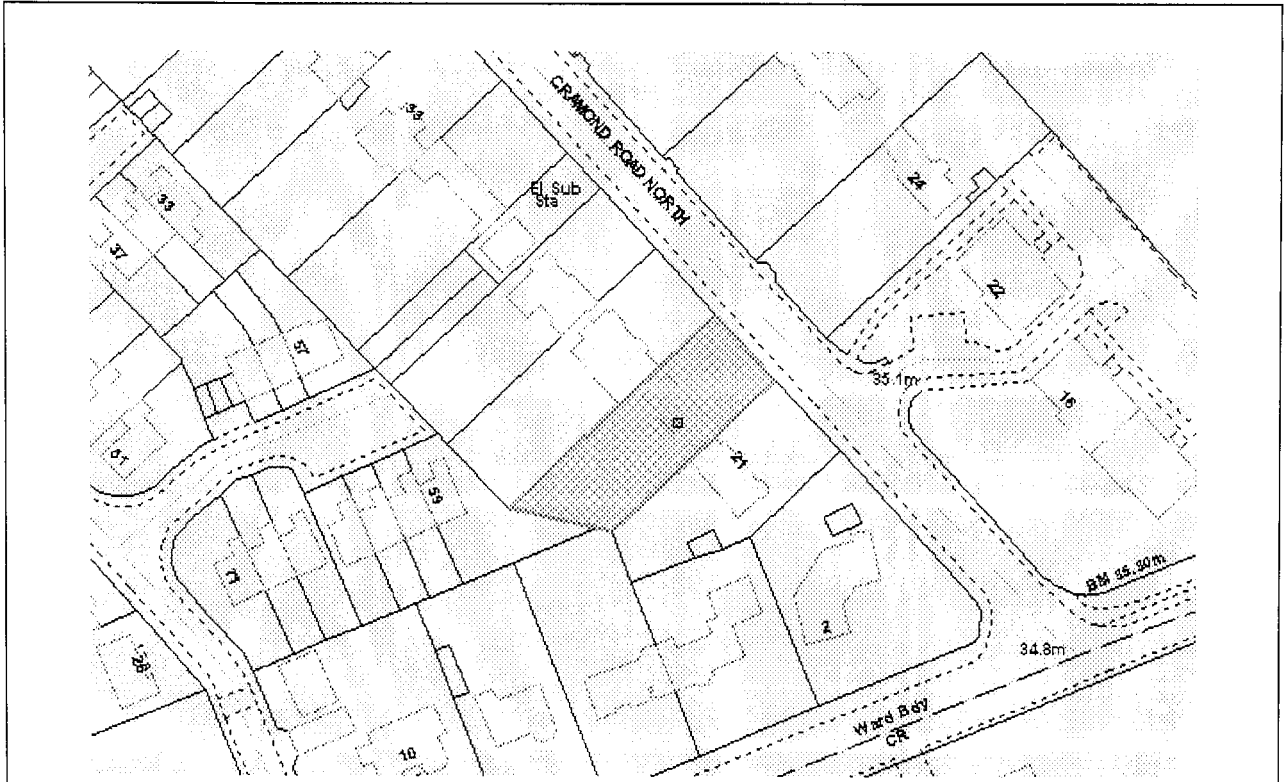
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Location Plan



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