

Full Planning Application 06/00306/FUL
at
76 Cammo Grove
Edinburgh
EH4 8HB

Development Quality Sub-Committee
of the Planning Committee

1 Purpose of report

To consider application 06/00306/FUL, submitted by Mr A Woods. The application is for: **Two storey side extension (east) to form garage with bedroom over, existing garage formed into family room and the formation of a new vehicular access**

It is recommended that this application be **GRANTED** subject to the conditions in Appendix B.

2 The Site and the Proposal

Site description

The application site comprises a two-storey semi-detached dwelling located on the south side of Cammo Grove and backing onto open countryside to the south. The property is faced in roughcast render under a concrete tiled roof. To the front elevation the roof extends out over what is a one-and-a-half storey projection which extends across two-thirds of the elevation resulting in a recess at the join with neighbouring property which mirrors this projection. Within the projecting roof is a long dormer window which is again reflected by the neighbour.

The property also benefits from a gabled porch projection located centrally within the front elevation. The site slopes downhill from the road to the rear boundary. To the rear there are steps down to the garden from the main

doorway. The garden is bounded by close boarded fencing in close proximity to the rear elevation giving way to lower and less solid means of fencing progressing to the rear boundary.

There is a raised, single-storey, flat roofed projection on the rear elevation of the neighbouring property at No 78 with side and rear windows.

Site history

19 August 1999 - Planning permission was granted for the erection of a single-storey front extension (Ref 99/02089/FUL).

Description of the Proposal

The application is for the erection of a two-storey side extension, conversion of an existing integral garage, erection of a cycle store, the erection of a raised decking area and balustrade and the formation of a new vehicular access to the eastern frontage of the site from Cammo Grove.

The side extension is 2.8 metres by 8.3 metres to a ridge height of 8.0 metres and will provide a garage and utility room on the ground floor and bedroom with en-suite and dressing room on the first floor. The existing garage is to be converted into a family room with an external cycle store of 2.6 metres by 1.4 metres to a height of 1.75 metres set to the front elevation. The timber decking to the rear elevation is 6.0 metres in length projecting 2.2 metres from the rear elevation. It is raised 1.2 metres above the existing ground level with a further 1.0 metre balustrade and steps to the side down into the garden.

3 Officer's Assessment and Recommendations

DETERMINING ISSUES

The determining issues are:

- Do the proposals comply with the development plan?
- If the proposals do comply with the development plan, are there any compelling reasons for not approving them?
- If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

ASSESSMENT

To address these determining issues, the Committee needs to consider whether:

- a) The proposal will adversely affect the character of the existing building or the surrounding area;
- b) There are any implications for road safety; and
- c) There will be any loss of residential amenity as a result of the proposals.

a) The proposed two-storey side extension extends to the original building line of the dwelling. However, the front elevation then projects vertically to provide a roof gablet, at the first-floor level, as opposed to the existing continuous roof slope from the ground floor level to the ridge with a large dormer window projection. An existing similar form of projection exists on the front elevation, albeit in different materials from the rest of the building, in the form of a ground floor porch. As such the proposal provides a suitable means of separation without dominating or detracting from the design, scale and appearance of the original dwelling house.

The Council's Non-Statutory guideline 'House Extensions' requires that side extensions should not visually connect separate houses into a continuous terrace. The application site is part of a semi-detached pair of properties, a build form that is uncommon within the Cammo Road area, which is fundamentally an area characterised by detached dwellings.

Planning permission was granted to No 78 for the erection of a single-storey side extension, amongst other things, adjacent to the application site. Whilst there is no requirement that such a development would necessarily proceed, the detached nature of that dwelling is such that there is little prospect of a replication of the proposed development and thus causing a terracing effect to occur.

Whilst the proposal would to a degree unbalance the appearance of the existing pair it should be noted that there have been other alterations to the both properties that already unbalance that appearance to a degree. Given the loss of the original integrity of the pair of semi-detached properties and the variety of size and types of houses in this location the overall impact of the proposal would not be sufficient in itself to withhold planning permission.

The erection of a small and functional cycle store to the front elevation of the dwelling is acceptable in this instance. Although on the front elevation it is still positioned behind the front building line of the property, and would not be visually intrusive.

The proposal is acceptable in terms of the character and appearance of the building and its surroundings.

- b) The proposal to form a new vehicular access between the site and the public road is 'permitted development' in terms of the Town and Country

Planning (General Permitted Development) (Scotland) Order 1992 and is not a matter for determination with this application.

c) The proposed two-storey side extension is maintained entirely within a side-to-side gable boundary with No 78 Cammo Grove. Accordingly, the proposal complies with the Council's Non-Statutory guideline 'Daylighting, Sunlight and Privacy' which provide that no account is taken regarding daylight and overshadowing issues in those circumstances.

The raised decking area on the rear elevation would fail to meet the requirement of being a minimum of 9 metres from the boundary of the property (0 metres to No 74 and 6.6 metres to No 78) as required by the Council's Non-Statutory guideline. However, that distance may be reduced if there is a sufficient means of boundary screening; provided that that screening does not in itself result in detrimental levels of overshadowing or loss of daylight.

In this instance a suitable condition requiring the erection of such a screen fence, at a minimum height of 2.8 metres, would provide an adequate means of screening from the eye level of a person standing on the decking. An extension of such a height along the common boundary could be constructed under permitted development. Accordingly, given the slope of the site and the proximity of neighbouring windows such screening would not result in detrimental levels of overshadowing or loss of daylight to either of those properties.

Accordingly, there will be no detrimental loss of residential amenity to the neighbouring properties as a result of the screen fence and the proposals.

In conclusion, the proposal is in accordance with the Development Plan, it would not detract from the character and appearance of the building or the surroundings and it will not have any adverse implications for residential amenity.

It is recommended that the Committee approve this application, subject to the conditions requiring a suitable means of boundary screen fencing.

Alan Henderson

Alan Henderson
Head of Planning and Strategy

Contact/tel	John Maciver on 0131 529 3918
Ward affected	05 - Cramond
Local Plan	North West Edinburgh Local Plan
Statutory Development Plan Provision	Mainly Residential
Date registered	3 February 2006
Drawing numbers/	01
Scheme	Scheme 1

Advice to Committee Members and Ward Councillors

The full details of the application are available for viewing on the Planning and Building Control Portal: www.edinburgh.gov.uk/planning.

If you require further information about this application you should contact the following Principal Planner, Graham Dixon on (0131) 529 3519. Email: graham.dixon@edinburgh.gov.uk

If this application is not identified on the agenda for presentation, and you wish to request a presentation of this application at the Committee meeting, you must contact Committee Services by 9.00a.m. on the Tuesday preceding the meeting on extension 4229/4239. Alternatively, you may e-mail gavin.king@edinburgh.gov.uk or sarah.bogunovic@edinburgh.gov.uk

Application Type Full Planning Application

Application Address: 76 Cammo Grove
Edinburgh
EH4 8HB

Proposal: Two storey side extension (east) to form garage with bedroom over, existing garage formed into family room and the formation of a new vehicular access

Reference No: 06/00306/FUL

Consultations, Representations and Planning Policy

Consultations

No Consultations received.

Representations

Three letters of objection (including a representation from The Cramond Association) were received. Those concerns raised are summarised as follows:

- Loss of privacy in rear gardens;
- Loss of natural light to gable windows; and
- Extension out of keeping with the building and its surroundings.

Other points raised are not material.

Full copies of the representations made in respect of this application are available in Group Rooms or can be requested for viewing at the Main Reception, City Chambers, High Street.

Planning Policy

Draft West Edinburgh Local Plan - Urban Area

Relevant Policies:

DQ6 - New Development should be designed to make a positive contribution to the quality, accessibility and safety of the environment, having regard to the character, opportunities and constraints of the site and its surroundings and the basic character of the city.

DQ11 - Alterations and extensions, where acceptable in principle, should be subservient and relate clearly to the original building. They should be of a suitable scale to the existing building and space around it.

North West Edinburgh Local Plan - Mainly Residential Area, where existing residential character and amenities are to be protected.

Relevant Policies:

Policy H4 requires new development to be sympathetic in scale and density with its surroundings. In conservation areas and defined "areas of interest" in particular, special care is required to protect local character and amenity.

Non-statutory guidelines 'DAYLIGHTING, PRIVACY AND SUNLIGHT' set criteria for assessing proposals in relation to these issues.

Non-statutory guidelines on 'HOUSE EXTENSIONS AND ALTERATIONS' set out the design principles against which proposals will be assessed.

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Conditions/Reasons associated with the Recommendation

Recommendation

It is recommended that this application be **GRANTED** subject to the conditions below.

Conditions

1. The development hereby permitted shall be commenced no later than five years from the date of this consent.
2. Prior to any work commencing on site details of screen fencing to be erected along parts of the western and eastern boundaries of the site shall be submitted to and approved by the Head of Planning and Strategy. That screen fencing shall; be erected prior to the occupation of the development hereby approved, be a minimum of 2.8 metres in height, extend for a minimum distance of 2.5 metres from a point on the boundary level with the existing rear elevation of the dwelling and be maintained to the satisfaction of the Head of Planning and Strategy.

Reasons

1. In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.
2. In order to protect the privacy of adjoining neighbours.

End

Appendix C

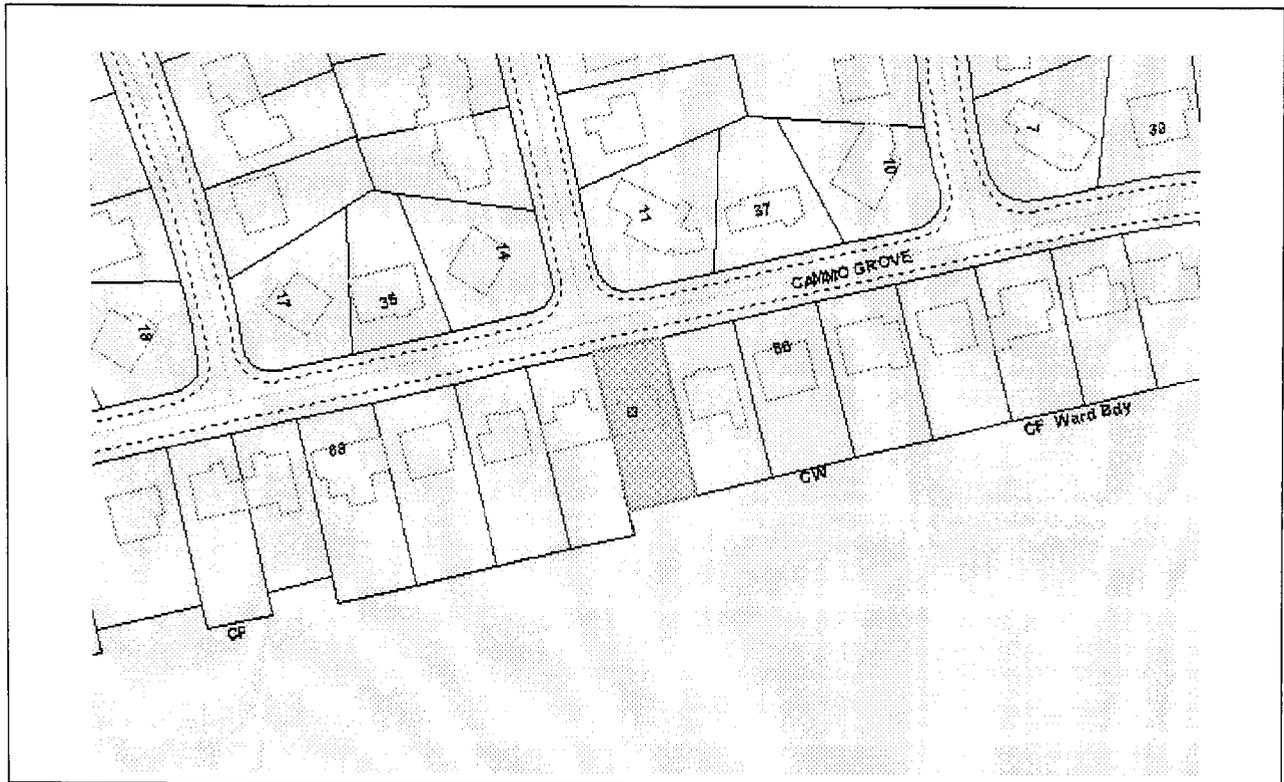


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Location Plan



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