

**Full Planning Application  
at  
Greenbank Drive  
(City Hospital Site)  
Edinburgh  
EH10 5SA**

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**Development Quality Sub-Committee  
of the Planning Committee**

**Proposal:** Additional 8 no apartments within attic space of 3no flat blocks and 2 no garage blocks  
**Applicant:** Cala Homes East Ltd.  
**Reference No:** 04/00815/FUL

**1 Purpose of report**

To recommend that the application be **GRANTED** subject to;

**Conditions**

1. The development hereby permitted shall be commenced no later than five years from the date of this consent.
2. That prior to the issuing of consent, the applicant will enter into an agreement in terms of Section 75 of the Town and Country Planning (Scotland) Act 1997 to the effect of:
  - a) Contribute the sum of £4,000 to the Departments safe routes to school budget

3. All accesses must be open for use by the public in terms of the statutory definition of 'road' and require to be the subject of applications for road construction consent.
4. i) Prior to the commencement of construction works on site:
  - a) A site survey (including intrusive investigation where necessary) must be carried out to establish to the satisfaction of the Head of Planning and Strategy, either that the level of risk posed to human health and the wider environment by contaminants in, on or under the land is acceptable, or that remedial and/or protective measures could be undertaken to bring the risks to an acceptable level in relation to the development; and
  - b) Where necessary, a detailed schedule of any required remedial and /or protective measures, including their programming, must be submitted to and approved in writing by the Head of Planning and Strategy.
- ii) Any required remedial and/or protective measures shall be implemented in accordance with the approved schedule and documentary evidence to certify those works shall be provided to the satisfaction of the Head of Planning and Strategy.
5. Only the tree/s shown for removal on the approved drawing/s shall be removed, and no work shall be carried out on the remaining trees at any time without the prior written consent of the Head of Planning & Strategy.
6. A fully detailed landscape plan, including details of all hard and soft surface and boundary treatments and all planting, shall be submitted to and approved in writing by the Head of Planning & Strategy before work is commenced on site.
7. The approved landscaping scheme shall be fully implemented within six months of the completion of the development, and thereafter shall be maintained by the applicants and/or their successors to the entire satisfaction of the planning authority; maintenance shall include the replacement of plant stock which fails to survive, for whatever reason, as often as is required to ensure the establishment of the approved landscaping scheme.
8. The 5 year landscaping scheme shall be fully implemented within six months of the completion of the development, and thereafter shall be maintained by the applicants and /or their successors to the entire satisfaction of the planning authority; maintenance shall include the replacement of plant stock which fails to survive, for whatever reason, as often as is required to ensure the establishment of the approved landscaping scheme.
9. Details of all windows and doors to be used on the new build hereby permitted shall be submitted to and approved by the Head of Planning before work is commenced on site.

10. A detailed specification, including trade names where appropriate, of all the proposed external materials shall be submitted to and approved in writing by the Head of Planning & Strategy before work is commenced on site; Note: samples of the materials may be required.
11. The trees on the site shall be protected during the construction period by the erection of chespale fencing, or similar fencing as approved in writing by the Head of Planning & Strategy, at the limit of the canopy spread of the trees; no materials, equipment or buildings shall be stored or located within the protected area, nor shall there be any access through it. The fencing shall be maintained in a secure and upright condition to the satisfaction of the Head of Planning & Strategy.
12. That notwithstanding the generalities of condition 5 above, before work starts, drawings shall be submitted to and approved by the Head of Planning which shows the construction of the car park and garage court areas to the north of the overall site in the vicinity of the mature trees. The construction is to comply with the recommendations of BS 5837 and the approved drawings.
13. Any detailed submission, or submission of reserved matters shall be accompanied by a detailed survey plan showing the type, condition, location, and the accurate canopy spread of all trees on the site.
14. No trenches shall be dug within 10 metres metres of the trunk of any tree on the site.
15. That within 6 months of the completion of the 10 houses of the wider development within which this development lies, the play area which has been previously approved shall be completed and thereafter maintained to the satisfaction of the Head of Planning.
16. That the cycle provision which has been previously approved as part of the wider development of which this development forms part shall be completed and thereafter maintained to the satisfaction of the Head of Planning.

### **Reasons**

1. In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.
2. In order to safeguard the interests of road safety.
3. In order to safeguard the interests of road safety.
4. In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.
5. In order to safeguard protected trees.

6. In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.
7. In order to ensure that the approved landscaping works are properly established on site.
8. In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.
9. In order to safeguard the character of the conservation area.
10. In order to enable the Head of Planning & Strategy to consider this/these matter/s in detail.
11. In order to safeguard protected trees.
12. In order to safeguard protected trees.
13. In order to safeguard protected trees.
14. In order to safeguard protected trees.
15. To ensure the availability of play provision
16. To ensure adequate cycle parking provision, which complies with the Council's parking standards.

## **2 Main report**

### **Site description**

The site lies within the eastern half of the former City Hospital (12.24 hectares) at Greenbank Drive. It is surrounded by residential development- Greenbank to the east, Colinton Mains/Oxgangs to the south, residential redevelopment of the former hospital to the west and the former Greenlea Old Peoples Home now known as the Steils to the north.

The western half of the City Hospital is now vacated and the renovation, conversion and new build residential development is virtually complete. The eastern half of the site is currently under construction. The wider application site contains stone built ward blocks set in a symmetrical pattern in a parkland setting. There are many mature trees and boundary shelter belts. The frontage onto Greenbank Drive presents a strong woodland edge. There are currently two vehicular access points, both onto Greenbank Drive, and a one way system is operated.

This application relates to part of the above wider site and in particular to two consented garage blocks and 3 consented flatted blocks which front onto Greenbank Drive. The flats are 2 stories in height with steeply pitched roofs which mimic the retained former ward blocks.

The site lies within the Craiglockhart Hills Conservation Area.

### **Site history**

March 1996

The City Hospital Development Brief was approved by the former Edinburgh District Council.

September 1996

The brief was endorsed by this Authority.

November 1998

Planning permission was granted in outline for residential development (A02711/97). Reserved matters were siting, parking, external appearance, density, design, and landscaping. Conditions were attached in respect of site investigation, landscaping, tree protection, traffic management, pavement improvements, lighting and development complying with a design code. Conservation Area consent was also granted.

November 1998

Planning permission was granted for roads infrastructure in the west sector of the hospital site(A02164/98) subject to conditions in respect of tree protection and details of works to form central recreational space.

November 1999

Planning Permission was granted for the approval of reserved matters for the conversion of existing buildings and construction of new build flats, houses, garaging (A03550/98)

March 2000

Conservation Area Consent was granted for demolition of vacant buildings and extensions (00/00184/Con)

19th September 2001

Planning Permission was granted for the relocation of a cycle route and play area.(01/00994/ful)

17th October 2001

Planning Permission was granted for Infrastructure works including construction of new access road, paths, drainage associated services, erection of a sub station, formation of a new entrance into the site (including upgrading Greenbank Drive) and associated parking.

6th March 2002

Planning permission was granted for the conversion of existing buildings to residential and new build flats, houses and garaging. 01/01233/REM

## **Development**

The proposal is to convert the attic space of the previously approved 3 blocks of flats which face onto Greenbank Drive into accommodation. Each block would have two flats. The external changes would be an increase in height of the main roof ridges of approximately 1 metre and increase in height of the eaves of the tower elements by 0.8 metres. The main roof planes facing Greenbank Drive (north) and the south facing roof planes would have four groups of four velux roof lights. The groups of roof lights would be aligned above existing elevational arrangements. Sun pipes are proposed, which project 0.4 metres above the central flat roofed area.

In addition to the attic flats, the consented garage blocks on either end of the row of flats would have a mews flat built into the extended roof space. Both flats would feature wall head dormers to the front and rear which would be in the same style and finish as those used elsewhere in the development.

The footprint of the development would not be altered.

The applicants have submitted supporting artist's impressions of the elevational changes that are being proposed when viewed from Greenbank Drive. The views they have submitted have visually removed the trees, for clarity. Also the consented garages have been visually removed to enable a clearer view of the proposal. Sections of the buildings have also been provided to enable an assessment of the likely impact of the proposed sun pipes.

## **Consultations**

### **Transport**

No objections subject to the following condition being applied.

All accesses must be open for use by the public in terms of 'road' and require to be the subject of applications for road construction consent.

For the developer to enter into a suitable legal agreement to provide the following:

Contribute the sum of £4000 to the departments Safer Routes to School programme.

## **Education**

### School Capacities

This site is located within the catchment areas of Oxgangs Primary School, St Peter's Roman Catholic Primary School, Firrhill High School and St Thomas of Aquin's Roman Catholic High School.

Due to small nature of this development, it is unlikely that this development would have any affect on the rolls of Oxgangs Primary School, St Peter's Roman Catholic Primary School, Firrhill High School or St Thomas of Aquin's Roman Catholic High School.

The forecasts are based on 2002 Start of Session Rolls and housing completions identified on the Housing Land Audit 2001. Revises child to house ratios have been applied.

### Summary

The catchment schools are expected to have sufficient capacity to accommodate this development. Accordingly, I would have no objection to this planning application.

## **Craiglockhart Community Council**

The Community Council asked to be a consultee and their comments are as follows:-

The drawings received refer to additional dwellings within attic space without making clear that in each case the roof height has to be increased in order to provide space for the dwellings. As height was a consideration when consent was given for flats and garages on this part of the City Hospital site, the proposal is not one that can be supported.

The dwellings created are not appropriate to the Craiglockhart Hills Conservation Area. It should be noted that two bedroom flats have velux roof lights to bedrooms. Kitchens and living rooms have sunpipes and veluxes. Three further sunpipes light internal bathroom and circulation space. The pipes are not shown on the elevations (Drawing Number PLANNING/03). The locations of these on the roofs cannot be determined without sections.

The site is one where the form of the development was influenced by the significant row of trees on Greenbank Drive which makes a notable contribution to the quality of the Conservation Area. Protection of the trees is required by the existing consent but fencing already in place is unlikely to provide the necessary deterrent to thoughtless practices by contractors, especially if drawings do not reinforce requirements by showing the trees to be protected on the plans and referencing landscape drawings.

This proposal would not enhance the Conservation Area, and we see no justification for allowing it to proceed.

## **Representations**

The proposal was advertised on 02.04.2004 and 2 letters of objection have been received, on the following grounds:

- loss of privacy
- increase in traffic congestion in the use of the Steils as a 'Rat Run'
- the increase in density
- impact on the character of the Conservation Area
- increase in height in terms of the original design and its impact on the character of the area and skyline
- the proposed sun pipes for internal rooms are not shown on the submitted drawings therefore their impact cannot be assessed
- impact of the current site practices on the trees which are to be retained.

## **Policy**

### **South West Edinburgh Local Plan**

Allocates the site as Housing and Compatible Uses where existing residential character and amenities are to be protected.

The site is similarly allocated on the Draft West Edinburgh Local Plan. The site lies within the Craiglockart Hills Conservation Area.

### **Relevant Policies:**

Policy H3 expects new housing development to harmonise with, and reflect the particular character of, the surrounding area, if appropriate, and subject to a number of criteria.

Policy H4 imposes special controls over new housing development in the garden grounds of villas in Conservation Areas, of listed buildings, other garden grounds of landscape quality and areas of traditional and largely uniform suburban character, in order to protect character and amenity.

Policy T5 requires development proposals to make specific provision for the needs of cyclists by ensuring easy access to the existing or proposed cycleway network and the provision of well designed cycle racks, where justified.

Policy T7 requires adequate provision of car parking in all new development by developers, in conformity with the Council's adopted standards.

Policy E3 establishes that within all Conservation Areas, the Council will exercise careful control over all development in order to preserve and enhance the special character of the areas. Demolition of buildings and structures will not be permitted if likely to affect adversely the character of the area.

Policy E5 requires all new buildings to make a positive contribution to the overall quality of the environment throughout South West Edinburgh in terms of materials, landscaping, setting and other matters.

Policy E17 seeks to protect significant individual and groups of trees and does not permit development within 20 metres of the trunk of a protected tree or within 10 metres of its canopy, whichever is the greater. Where necessary, Tree Preservation Orders shall be sought.

Policy DQ6 states that new development should make a positive contribution to the quality, accessibility and safety of the environment, having regard to the character, opportunities and constraints of the site and its surroundings and the basic character of the city

Policy DQ11 Alterations and Extensions where acceptable in principle, should be subservient and relate clearly to the original building.

Policy DQ17 states that development or redevelopment proposals within a conservation area will only be permitted where the proposal is of a high design standard and would preserve or enhance the character or appearance of the area.

Policy H1 General housing Policy seeks to encourage residential development, providing a satisfactory level of residential amenity can be achieved.

Policy H3 Housing sites, promotes the development of listed sites for residential uses.

Policy H7 Housing Development Quality seeks to make best use of land without affecting the character of the area whilst make provision for amenities.

Policy T4 The Road Network, states that planning permission will not be approved if development would result in an inappropriate use of surrounding roads. With new development required to fund improvement measures in accordance with 'Movement and Development' standards.

Policy T7 states that development proposals should be designed to make walking and cycling as safe, convenient and attractive as possible and, where possible, should link with and provide extensions to the city-wide network of off-road routes.

Policy T8 requires that private car parking provision conforms with the Council's adopted parking standards and should be sited and designed to minimise its visual impact and effect on neighbouring properties and to take account of community safety.

Non-statutory guidelines 'DAYLIGHTING, PRIVACY AND SUNLIGHT' set criteria for assessing proposals in relation to these issues.

### **3 Conclusions and Recommendations**

#### Determining Issues

The determining issues are:

- Do the proposals harm the character or appearance of the Conservation Area? If they do, there is a strong presumption against the granting of permission.

- Do the proposals comply with the Development Plan?

- If the proposals do comply with the Development Plan, are there any compelling reasons for not approving them?
- If the proposals do not comply with the Development Plan, are there any compelling reasons for approving them?

### Assessment

To address the determining issues, the Committee needs to consider whether:

- a) the proposal preserves or enhances the character and appearance of the conservation area.
- b) there are any detrimental effects in terms traffic.
- c) there is any adverse effect on residential amenity.

a) The principle and basic form of housing development on the wider site has been established and is currently being built. It is the increase in density and the change in design of the proposal which requires to be considered in relation to the character of the area. The design of the flats specifically echo the steeply pitched roofs of the former ward blocks which are being retained on the site. The roof silhouettes are specifically referred to in the Craiglockhart Hills Conservation Area. The proposal retains all the essential features of this roofscape and the increase in height of eaves and ridge lines is minimal in relation to the overall design. The proposed sun pipes are located within the flat roofed sections of the building and are located far enough back from the edges of that roof so as not to be visible from the street. The design of the wall head dormers on the mews blocks is used in other parts of the consented development and is considered to add character to the consented garage blocks. The applicant has confirmed that the velux roof lights would be a Conservation type which are recessed into the roof. The location of the roof lights align with other windows on the elevations and are of a size which do not dominate the roof.

The proposal does not affect the previously approved landscaping and tree retention measures. The development retains and enhances this landscape setting.

The proposed materials match those previously approved for the consented development.

The proposals are considered to be in keeping with the character and appearance of the conservation area.

b) Transport is satisfied with the proposals providing a contribution is made to the safe routes to schools programme. The proposal will not adversely affect the traffic patterns in the area.

c) In terms of privacy, the windows are no closer than those of the approved development. The proposal will not reduce privacy either within the wider development nor outwith the site.

The impact of the development in terms of overshadowing on the surrounding area also requires to be considered. The Greenbank Drive frontage of the flats is 40m away from the rear garden boundaries of the closest houses to the north. In addition, an existing belt of mature trees lie between the flats and those houses. The flats are at a higher level than the nearest houses and the differences in levels require to be taken into account. The Council's Non-Statutory Guidelines on Daylighting, Privacy & Sunlight require new developments to satisfy a 25 degree angle in relation to the highest point of a new development. In this regard, the nearest houses are not affected in that, by applying the 25 degree measurement, any resultant overshadowing is confined to the applicant's own site and a small element of Greenbank Drive.

The increase in roof height by 1 metre also does not adversely affect the development currently underway within the wider site.

There are not considered to be any unacceptable detrimental aspects of the development on residential amenity.

In conclusion, the proposed development will preserve and, to some extent, enhance the character and appearance of the Conservation Area, and is consistent with earlier approved developments. It is of appropriate scale, form and materials and will not adversely affect the amenity of neighbouring residents.

Issues relating to the implementation of the wider approved scheme in relation to tree protection raised by the Craiglockhart Community Council are being checked for compliance with conditions.

It is recommended that the Committee approves this application, subject to the conditions stated.

  
pp **Alan Henderson**  
Head of Planning and Strategy

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**Ward affected** 26 -Craiglockhart

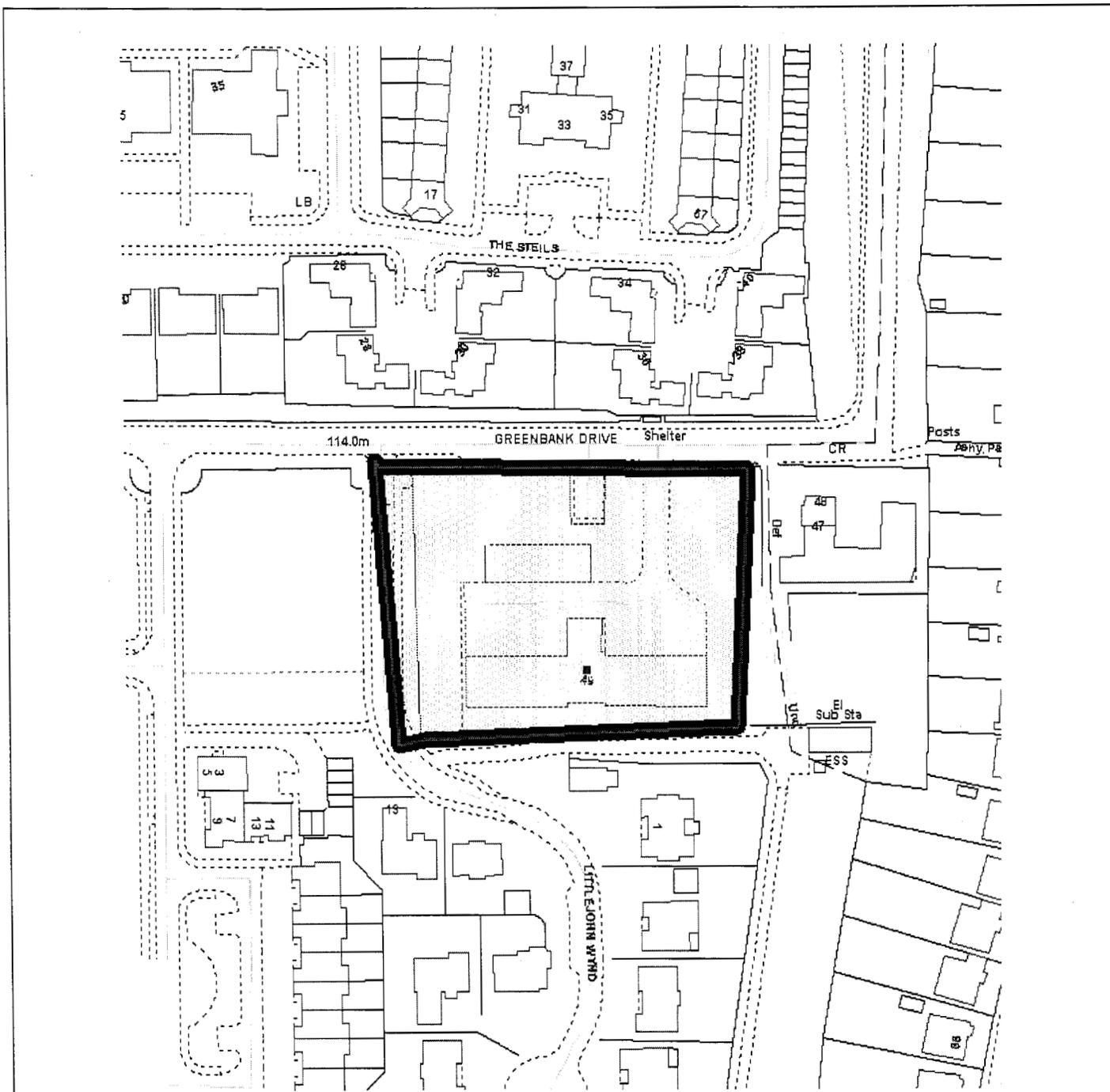
**Local Plan** South West Edinburgh

**Statutory Development  
Plan Provision** Housing and Compatible Uses

**File**

**Date registered** 22 March 2004

**Drawing numbers/  
Scheme** 1,2,3,4



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# **PLANNING APPLICATION**

<b>Address</b>	<b>Greenbank Drive, (City Hospital Site), Edinburgh, EH10 5SA</b>		
<b>Proposal</b>	<b>Additional 8 no apartments within attic space of 3no flat blocks and 2 no garage blocks</b>		
<b>Application number:</b>	<b>04/00815/FUL</b>	<b>WARD</b>	<b>26- Craiglockhart</b>

**THE CITY OF EDINBURGH COUNCIL  
THE CITY DEVELOPMENT DEPARTMENT- PLANNING & STRATEGY**