

**Full Planning Application 05/00037/FUL
at
18 Merchiston Crescent
Edinburgh
EH10 5AX**

**Development Quality Sub-Committee
of the Planning Committee**

1 Purpose of report

To consider application 05/00037/FUL, submitted by Tremmel Properties Ltd.
The application is for: **House alteration/extension**

It is recommended that this application be **GRANTED** subject to the conditions in Appendix B.

2 The Site and the Proposal

Site description

The application relates to a large detached stone-built villa situated on the north side of Merchiston Crescent on its corner with Napier Road. The area is predominantly residential characterised by similar properties.

The property is not listed but lies within the Merchiston and Greenhill Conservation Area.

Site history

There is no relevant planning history on file for this site.

Description of the Proposal

The application is for the erection of a first floor extension above an existing single storey garage to the side of the property. The extension will have a shallow hipped roof, which will be obscured by a small parapet wall when viewed from the front of the site. The extension will be finished in natural stone to match the existing property. The existing garage is to be converted to living accommodation and the garage door removed and timber French doors installed within the opening. Windows to the newly formed upper floor are to be timber, sash and case. It is also proposed to erect a conservatory to the rear elevation. This will replace an existing conservatory and will measure 6 metres wide x 4 metres deep. It will be a 'Victorian' style constructed in timber with a natural stone base wall.

The proposals also include building up the existing vehicular access to the front elevation and forming a pedestrian access in its place. It is proposed to form a new vehicular access to the side of the site off Napier Road. The access will be located approximately 28 metres from the junction with Merchiston Crescent and will measure 3 metres wide. Stone piers will be erected to either side and wrought iron gates installed. A gravel hardstanding will be formed beyond measuring approximately 84 square metres.

3 Officer's Assessment and Recommendations

DETERMINING ISSUES

The determining issues are:

- Do the proposals preserve or enhance the character and appearance of the conservation area; There being a strong presumption against the granting of planning permission if this is not the case;
- Do the proposals comply with the development plan;
- If the proposals do comply with the development plan, are there any compelling reasons for not approving them;
- If the proposals do not comply with the development plan, are there any compelling reasons for approving them.

ASSESSMENT

To address these determining issues, the Committee needs to consider whether:

- a) The proposals will preserve or enhance the character and appearance of the property and that of the conservation area;

- b) The proposal will have a detrimental impact on neighbouring residential amenity;
- c) There will be any road safety implications.

a) The proposed first floor extension and conservatory are acceptable and considered to be in keeping with the existing property. They will be traditional in terms of design and proposed materials. In terms of Villa policy the conservatory will be erected on an area which is already hard surfaced. The loss of 'green' garden ground with the formation of the proposed hardstanding will be offset with the reinstatement of a grassed area to the front of the property. Calculations show that there will be no significant loss of existing 'green' garden ground within the site and as such there will be no impact on the spatial character of the area.

It is considered that the work will not impact on the architectural integrity of the original property and is appropriate to the location within the Merchiston and Greenhill Conservation Area.

The formation of a new vehicular access off Napier Road in place of an existing one to the front of the site is acceptable and complies with the non-statutory guidelines on parking in front gardens which states that within conservation areas only one vehicular access is acceptable. No details have been submitted regarding elevational details of the proposed gates and therefore a condition is recommended requiring further details. Notwithstanding this it is considered that the proposed wrought iron gates are acceptable in principle and will retain the sense of enclosure inherent in the frontages within this part of the conservation area.

b) The conservatory will be located to the rear of the property and is more than 9 metres from neighbouring properties. Given the siting and orientation of the proposed conservatory and the first floor extension, there will be no effect on the daylighting and sunlight enjoyed by the neighbouring residential property. The proposed first floor extension lies to the side and therefore a gable to gable situation exists. The proposed alterations comply with policy in this respect.

c) There are no objections to the formation of the new vehicular access off Napier Road in place of the existing one to the front off Merchiston Crescent. This will be located a sufficient distance from the junction and therefore will not introduce any road safety implications.

In conclusion the proposals are considered acceptable in terms of their character and appearance, and there are no issues of loss of privacy or overshadowing. The proposals fully comply with the guidelines on house extensions and development in villa areas, and will not harm the character or appearance of the conservation area or introduce any road safety implications.

It is recommended that Committee approves this application, subject to a condition on details of the gates.

Alan Henderson

Alan Henderson
Head of Planning and Strategy

Contact/tel	Emma Wilson- Wednesday, Thursday And Alternate Fridays Only on 0131 529 3634 (FAX 529 3717)
Ward affected	45 - Merchiston
Local Plan	Central Edinburgh
Statutory Development Plan Provision	Housing and Compatible Uses
Date registered	12 January 2005
Drawing numbers/ Scheme	1 - 4 Scheme 1

Advice to Committee Members and Ward Councillors

The full details of the application are available for viewing on the Planning and Building Control Portal: www.edinburgh.gov.uk/planning.

If you require further information about this application you should contact the following Principal Planner, Ian Dryden on 0131 529 3464. Email: ian.dryden@edinburgh.gov.uk.

If this application is not identified on the agenda for presentation, and you wish to request a presentation of this application at the Committee meeting, you must contact Committee Services by 9.00a.m. on the Tuesday preceding the meeting on extension 4229/4239. Alternatively, you may e-mail blair.ritchie@edinburgh.gov.uk or sarah.bogunovic@edinburgh.gov.uk

Application Type Full Planning Application
Application Address: 18 Merchiston Crescent
Edinburgh
EH10 5AX

Proposal: House alteration/extension
Reference No: 05/00037/FUL

Consultations, Representations and Planning Policy

Consultations

No consultations undertaken.

Representations

The application was advertised on 21 January 2005. Three letters have been received, two from the same neighbour, objecting to the proposals on the following grounds:

- Loss of View
- Loss of natural light/overshadowing
- Relocation of the access will be detrimental to the visual character of the conservation area.

Full copies of the representations made in respect of this application are available in Group Rooms or can be requested for viewing at the Main Reception, City Chambers, High Street.

Planning Policy

The Central Edinburgh Local Plan identifies the site as being within an Area of Housing and Compatible Uses and the Merchiston and Greenhill Conservation Area.

Relevant Policies:

Policy CD4 (CONSERVATION AREAS) requires that developments in a conservation area retain all features which contribute to the area's character and appearance.

Policy CD5 (CONSERVATION AREAS - REDEVELOPMENT) sets out the criteria against which new development in conservation areas will be assessed, and seeks to preserve or enhance their character and appearance.

Policy CD16 (NEW DEVELOPMENT IN VILLA AREAS) sets out the essential requirements of approved guidelines which seek to regulate the form and layout of new development in the garden grounds of villa properties.

Policy CD17 (MATERIALS) sets out requirements for materials in new developments and seeks a greater use of stone, roofing slate and other traditional materials in appropriate cases.

Policy CD19 (BUILDING ALTERATIONS) sets out requirements for the design, form, materials and positioning of alterations and extensions.

Non-statutory guidelines 'DAYLIGHTING, PRIVACY AND SUNLIGHT' set criteria for assessing proposals in relation to these issues.

Non-statutory guidelines on 'HOUSE EXTENSIONS AND ALTERATIONS' set out the design principles against which proposals will be assessed.

Non-statutory guidelines on 'VILLA AREAS AND THE GROUNDS OF VILLAS' provide guidance on development, to ensure the conservation and enhancement of villa areas.

Non-statutory guidelines on 'PARKING IN FRONT GARDENS' supplement local plan policies on conservation, design and residential amenity, and provide guidance on the location and design of front garden parking.

Application Type Full Planning Application
Application Address: 18 Merchiston Crescent
Edinburgh
EH10 5AX

Proposal: House alteration/extension
Reference No: 05/00037/FUL

Conditions/Reasons associated with the Recommendation

Recommendation

It is recommended that this application be **GRANTED** subject to the conditions below.

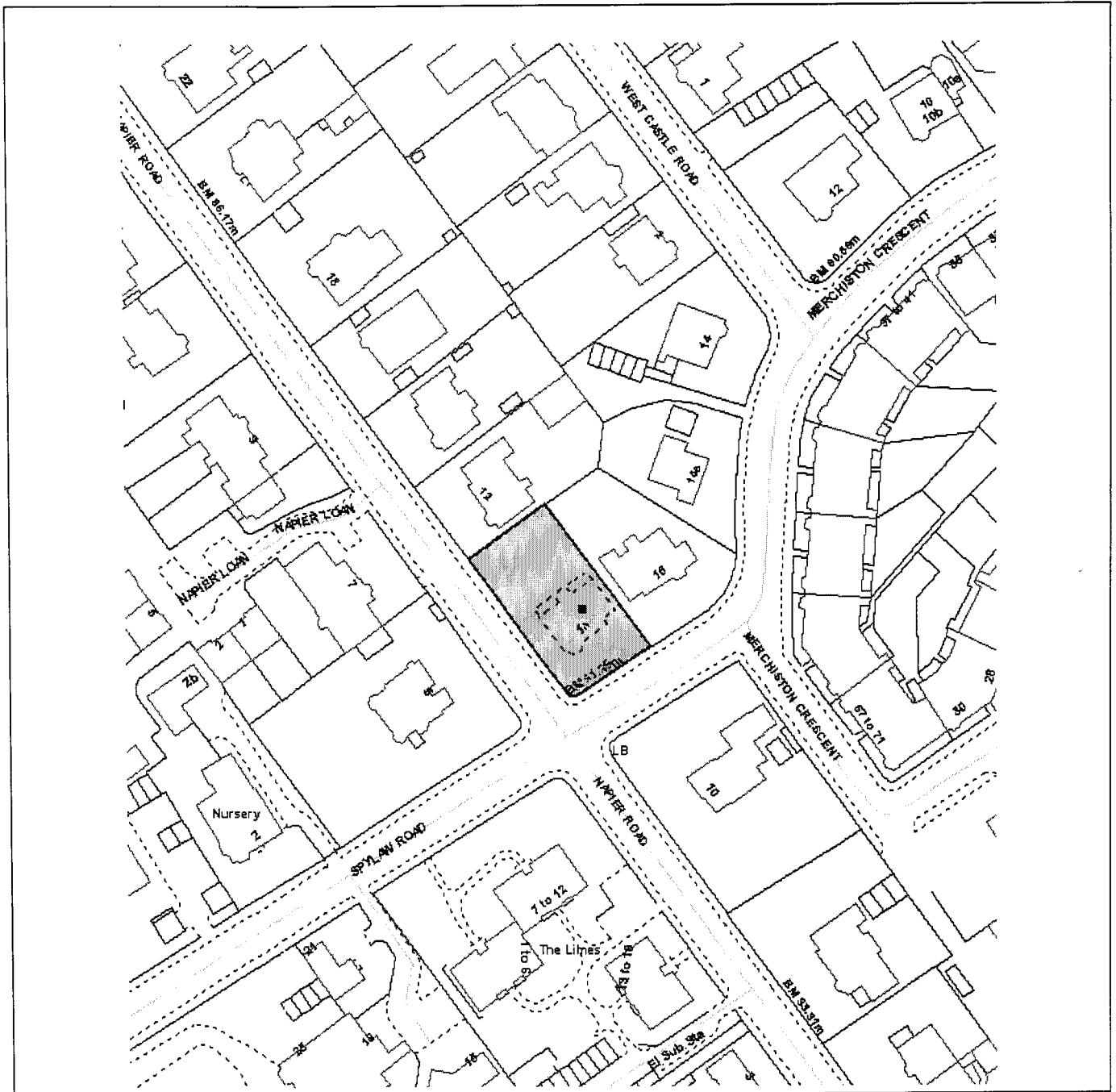
Conditions

1. The development hereby permitted shall be commenced no later than five years from the date of this consent.
2. Details of the proposed wrought iron gates shall be submitted to and approved in writing by the Head of Planning & Strategy before work is commenced on site.

Reasons

1. In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.
2. In order to enable the Head of Planning & Strategy to consider this/these matter/s in detail.

End



Reproduction from the Ordnance Survey mapping with permission of the Controller of Her Majesty's Stationery Office © Crown Copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. Licence Number 100023420 The City of Edinburgh Council 2004.

PLANNING APPLICATION

Address	18 Merchiston Crescent, Edinburgh, EH10 5AX,		
Proposal	House alteration/extension		
Application number:	05/00037/FUL	WARD	45- Merchiston
THE CITY OF EDINBURGH COUNCIL			
THE CITY DEVELOPMENT DEPARTMENT- PLANNING & STRATEGY			